



## MEMORANDUM

TO: Parks and Recreation Board

FROM: Michael J. Heitz, AIA, Director  
Parks and Recreation Department

DATE:

SUBJECT: Revised plans for the construction of single recessed boat slip at 6702 Troll Haven.  
File # SP-93-0006DS UPDATE #1

At the Board's meeting held on January 26, 1993, consideration was given to a request from Innovative Construction, on behalf of David Goldman, to construct a recessed slip with deck over, at 6702 Troll Haven.

Because of the physical constraints of the lot it was necessary to build the slip within the required 10' side property line setback. The adjacent property owner's approval for construction within this setback could not be obtained so the request was pulled pending further discussions with the neighbor. One major concern of the adjacent property owner was the lack of protection to the sides of the excavation during construction. A sheet piling wall was suggested as a solution to this concern.

A revised request has now been received that eliminates the deck construction over the slip. It also includes a system of sheet piling along the side of the boat slip parallel to the property line and adjacent to the existing structure on the site to provide support to the sides of the excavation during construction.

Parks and Recreation Department staff have reviewed revised plans for the project. The proposed construction is still within the 10' side property line setback, and no information regarding the adjacent property owners views have been included.

Parks and Recreation Board  
Boat slip, 6702 Troll Haven  
Page 2

**Recommendation**

I recommend approval of the request to construct a single recessed boat slip at 6702 Troll Haven, in accordance with Site Plan # SP-93-0006DS UPDATE #1, subject to the following:

1. Approval of a variance from the requirements of Section 13-2-795(2) to permit construction within the 10' side property line setback.
2. The deck structure proposed in the original plans not be constructed.

If I can provide you with any additional information, please contact me.



Michael J. Heitz, AIA, Director  
Parks and Recreation Department

MH:PM

24-MAR-1993

TO:  
FROM:        SITE PLAN REVIEW DIVISION/PLANNING DEPT  
SUBJECT:     DEVELOPMENT PERMIT ONLY

COMMENT DUE DATE: 31-MAR-1993  
SP-93-0006DS

UPDATE #1

PROJECT:    DAVID GOLDMAN BOAT SLIP INSTALLATION

6702        TROLL HAVEN

CASE MANAGER:        OSKOUIPOUR, JAVAD        499-2639

APPLICATION DATE:        24-MAR-1993

ZIP: 78746

FULL PURPOSE

WATERSHED: Lake Austin        RURAL WATER SUPPLY

OWNER: GOLDMAN, D.        (512)328-4599  
6702 TROLLHAVEN AUSTIN, TX    78746

CONTACT: DAVID GOLDMAN  
AGENT: INNOVATIVE CONSTRUCTION        (512)331-6132  
10805 EL SALIDO PARKWAY AUSTIN, TX    78750  
CONTACT: JOHN CHELINE

SITE PLAN AREA:        0.175 ACRES        (        7627 SQ FT)  
UTILITY OR STORM SEWER LENGTH:        0 LINEAR FEET

EXISTING ZONING:  
EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
0.000/        0	DOCK	
0.000/        0	RESIDENTIAL BOAT	

RELATED CASE NUMBERS (IF ANY):

## OTHER PROVISIONS:

QUALIFIES AS A SMALL PROJECT  
TIA IS NOT REQUIRED  
FEE RECEIPT #: 1182663

SUBD NAME: COUNTY OF TRAVIS  
BLOCK/LOT: BLOCK A, LOT 37C  
PLAT BOOK/PAGE: BOOK 72, PAGE 39

PARCEL #:

VARIANCES/WAIVERS, BONUSES:



## MEMORANDUM

TO: Parks and Recreation Board

FROM: Michael J. Heitz, AIA, Director  
Parks and Recreation Department

DATE: January 21, 1993

SUBJECT: Construction of recessed boat slip, at 6702 Troll Haven  
File # SP-93-0006DS

A request has been received from Innovative Construction, on behalf of David Goldman, to construct a recessed boat slip with deck over, at 6702 Troll Haven.

As members may recall, at the meeting held on July 24, 1991 the Board denied a request for approval of a temporary boat lift located at this address because it impeded the passage of other watercraft in the channel, and instructed that it be removed within a six month period. The temporary boat lift has been removed and the owner is now submitting an application for a recessed boat dock.

The restricted space available within the property requires that the recessed slip be constructed adjacent to the side property line. It is therefore necessary for the Board to consider granting a waiver from the requirements of Section 13-2-795(2) of the Land Development Code. The request also includes a boat lift and deck, at second floor level, over the recessed dock that abuts the property line.

### Recommendation

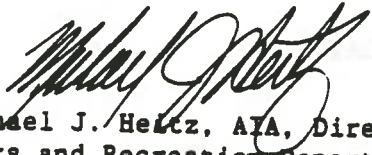
I recommend approval of the request to construct a 15' wide recessed boat-slip at 7602 Troll Haven, in accordance with Site Plan # SP-93-0006DS subject to the following:

1. Approval of a waiver from the requirements of Section 13-2-795(2) to permit construction within the 10' side property line setback.

Parks and Recreation Board  
Boat Dock, 6702 Troll Haven  
January  
Page 2

2. A letter of approval from the adjacent property owner not objecting to construction closer than 10' to the property line.
3. No conflicts with other building codes or regulations that would prohibit the construction of the recessed slip or the deck structure adjacent to the property line.

If I can provide you with any additional information, please contact me.

  
Michael J. Heitz, AIA, Director  
Parks and Recreation Department

MH:PM

D I S T R I B U T I O N      M E M O R A N D U M

7-JAN-1993

TO: COMMENT DUE DATE: 14-JAN-1993  
 FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT  
 SUBJECT: DEVELOPMENT PERMIT ONLY SP-93-0006DS

PROJECT: DAVID GOLDMAN BOAT SLIP INSTALLATION  
           6702      TROLL HAVEN

CASE MANAGER:                      OSKOUIPOUR, JAVAD                      499-2639

APPLICATION DATE:                      6-JAN-1993

ZIP: 78746 FULL PURPOSE  
 WATERSHED: Lake Austin                      RURAL WATER SUPPLY

OWNER: GOLDMAN, D. (512)328-4599  
           6702 TROLLHAVEN AUSTIN, TX      78746

CONTACT: DAVID GOLDMAN  
 AGENT: INNOVATIVE CONSTRUCTION (512)331-6132  
           10805 EL SALIDO PARKWAY AUSTIN, TX      78750  
 CONTACT: JOHN CHELINE

**908 3602**

SITE PLAN AREA:                      0.175 ACRES                      (                      7627 SQ FT)  
 UTILITY OR STORM SEWER LENGTH:                      0 LINEAR FEET

EXISTING ZONING:  
 EXISTING USE:

TRACT	— ACRES/SQ FT	PROPOSED USE
	0.000/                      0	DOCK
	0.000/                      0	RESIDENTIAL BOAT

RELATED CASE NUMBERS (IF ANY):

OTHER PROVISIONS:  
 QUALIFIES AS A SMALL PROJECT  
 TIA IS NOT REQUIRED  
 FEE RECEIPT #: 1182663

138

SUBD NAME: COUNTY OF TRAVIS  
 BLOCK/LOT: BLOCK A. LOT 37C

REVIEW COMMENTS

TO: SITE PLAN PROCESSING

CASE MANAGER: Oskouipour, Javad

FROM: FILE NUM: SP-93-0006DS

PROJECT NAME: DAVID GOLDMAN BOAT SLIP INSTALLATION

LOCATION: 6702 TROLL HAVEN

DUE DATE: 14-JAN-1993

REVIEWER: MARSH, PETER

DATE: 20-JAN-1993

PD 1. This request will be considered for approval by the Parks and Recreation Board at their meeting to be held on January 26, 1993.

PD 2. A waiver from the requirements of Section 13-2-795(2) is required to permit construction within 10' of the side property line.

PD 3. A letter of approval from the adjacent property owner not objecting to construction closer than 10' to the side property line.

PD 4. No conflicts with other building codes or regulations that would prohibit construction adjacent to the property line.



FULL SERVICE RESTORATION CONTRACTOR

December 28, 1992

## SUMMARY LETTER

David Goldman Residence  
6702 Trollhaven  
Austin, Texas 78746

### Proposed Boat dock

In accordance with the City of Austin Code Enforcement Operations, old boat dock was removed from the existing channel. The new proposed dock installed as indicated on drawing.

The size of the proposed dock is 15.5' X 23' with no excavation greater than 8'-0" in depth. All concrete to match pre-existing retaining wall system. The installation of the new boat dock will not interfere with any pre-existing structure or trees. The westerly edge of the dock will be within 1'-0" of the property line.

Completion of the boat dock within 10 days inclement weather excepted.

### Construction Procedures:

1. Install silt fence
2. Excavate for installation of footings and retaining walls
3. Install footings and concrete walls
4. Backfill retaining walls
5. Install concrete walkways and walkdeck
6. Install upper walk deck to match existing
7. Seed or sod any damaged sod
8. Remove silt fence

DRAWING (Boat slip and sun deck part of the summary)

Sincerely,

*John Cheline*

John M. Cheline

## INNOVATIVE CONSTRUCTION SERVICES

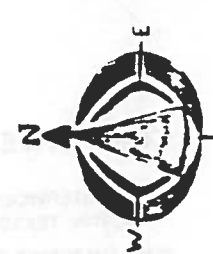
2805 El Salido Pkwy.  
Austin, Texas 78750

24 HR. EMERGENCY SERVICE  
(512) 331-6132

1510



8-  
See Next Page for  
further details



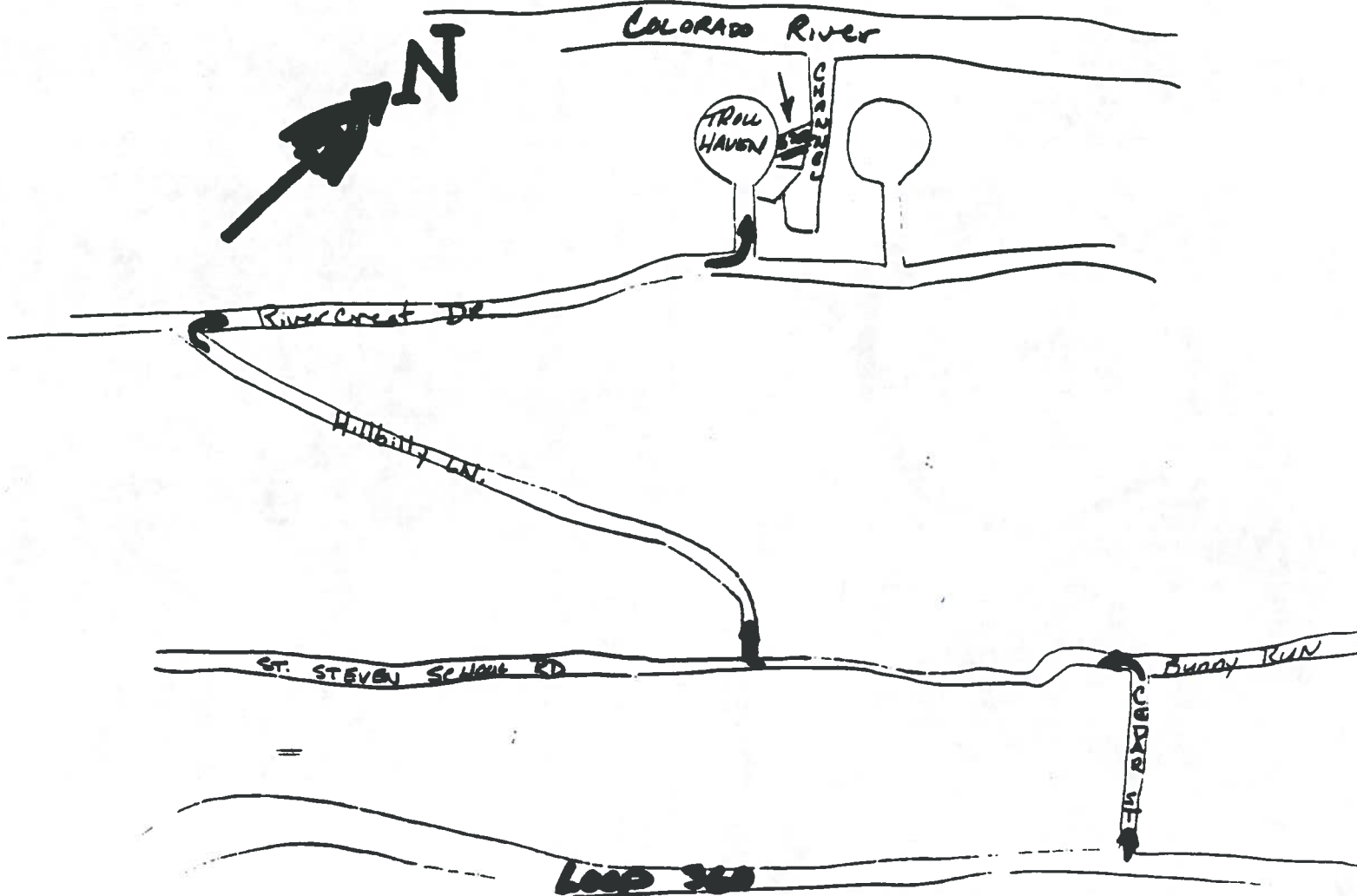


FULL SERVICE RESTORATION CONTRACTOR

DAVID GOLDMAN RESIDENCE  
6702 TROLL HAVEN CR.  
AUSTIN TX. 78746

DATE 12-28-92

## LOCATION MAP



## INNOVATIVE CONSTRUCTION SERVICES

13403 WISTERWOOD STREET  
AUSTIN, TEXAS 78729  
24 HR EMERGENCY SERVICE  
(512) 331-6132

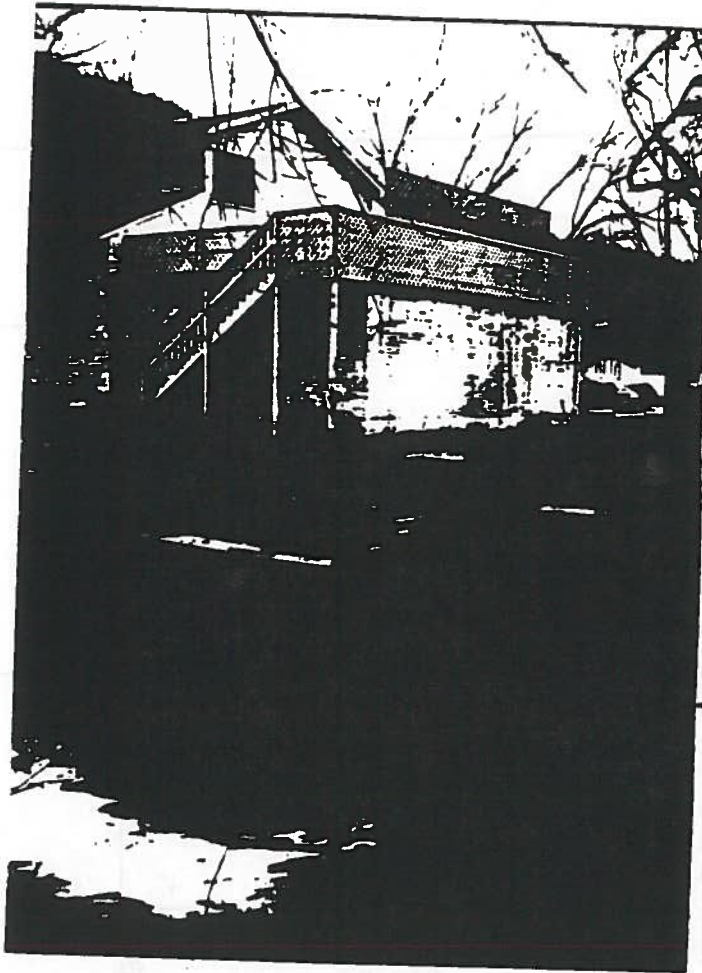
12  
12

CONCRETE RESTORATION • ROOFING • INJECTION GROUTING • CEMENTITIOUS TOPPING • WATER PROOFING • INFRA STRUCTURE



FULL SERVICE RESTORATION CONTRACTOR

6702 Troonhaven Dr.  
Austin, TX 78740



New boat slip to be  
located here.

Existing boat Channel.  
Approx 30' wide.

New boat slip to be installed  
Northwest Corner of Property

## INNOVATIVE CONSTRUCTION SERVICES

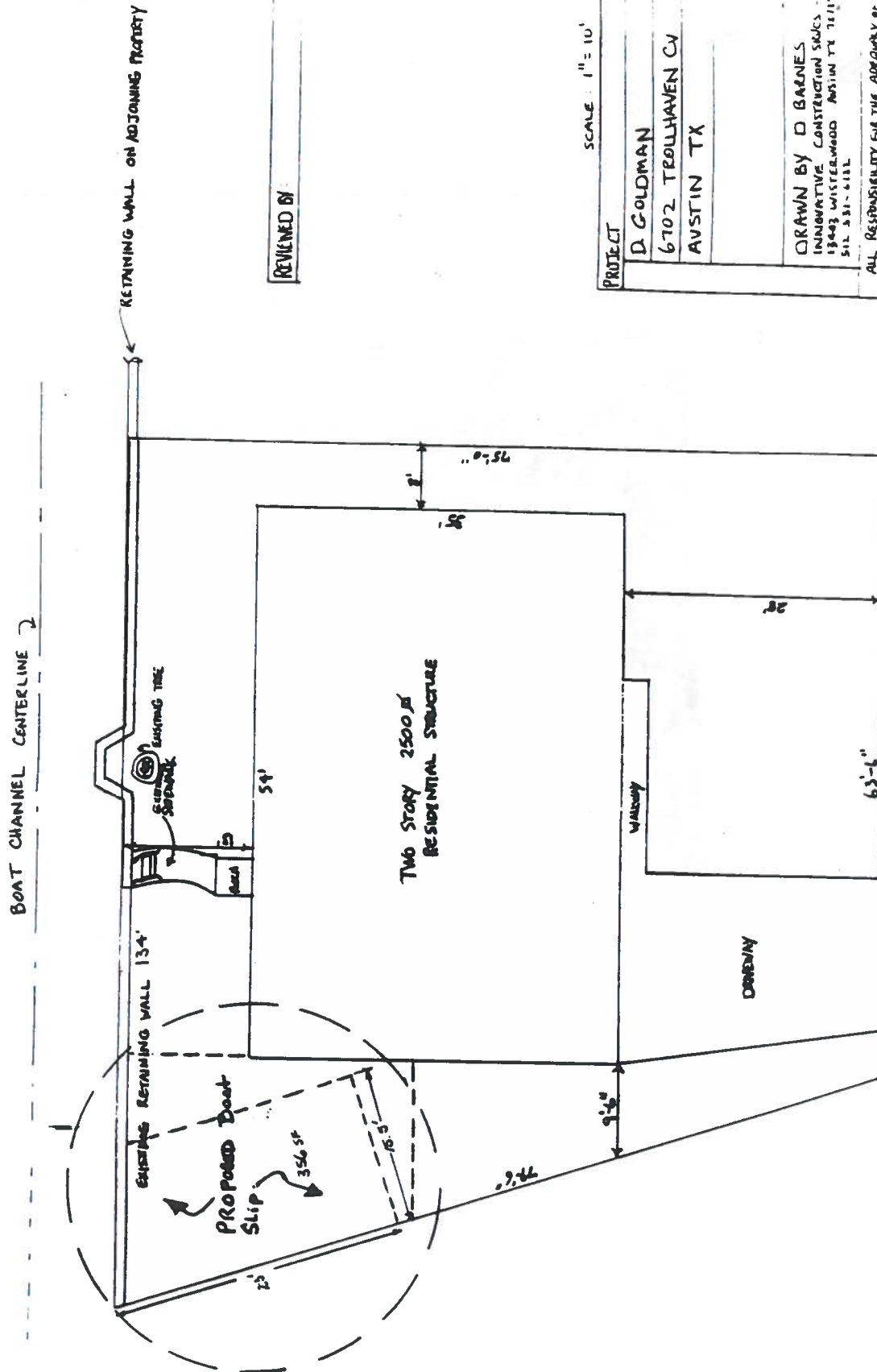
1403 WISTERWOOD STREET  
AUSTIN, TEXAS 78729

24 HR EMERGENCY SERVICE  
(512) 331-6132

13  
78

CONCRETE RESTORATION • ROOFING • INJECTION GROUTING • CEMENTIOUS TOPPINGS • WATER PROOFING • INFRA STRUCTURE REPAIR

# SITE PLAN



REVIEWED BY

SCALE: 1" = 10'

PROJECT

D. GOLDMAN  
6702 TROLLHAVEN CT  
AUSTIN TX

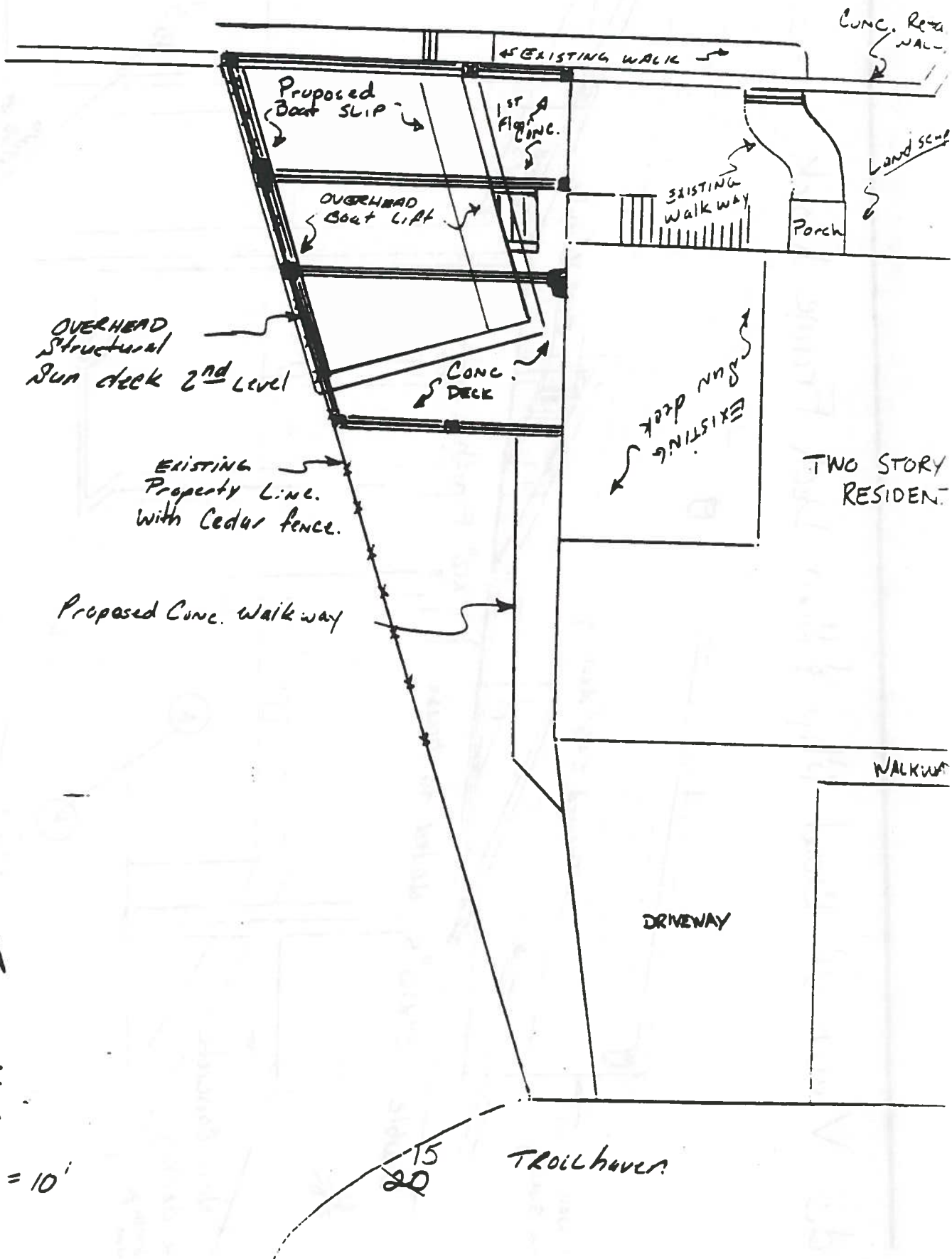
DRAWN BY D. BARNES  
INNOVATIVE CONSTRUCTION SERVICES  
13443 WISTERWOOD AUSTIN TX 78719  
512.331.4112

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE DESIGNER. IN APPEALING THESE PLANS, THE CITY OF AUSTIN MUST FIRSTALLY REPLY ON THE ADEQUACY OF THE INFORMATION SUPPLIED BY THE DESIGNER.

14  
79

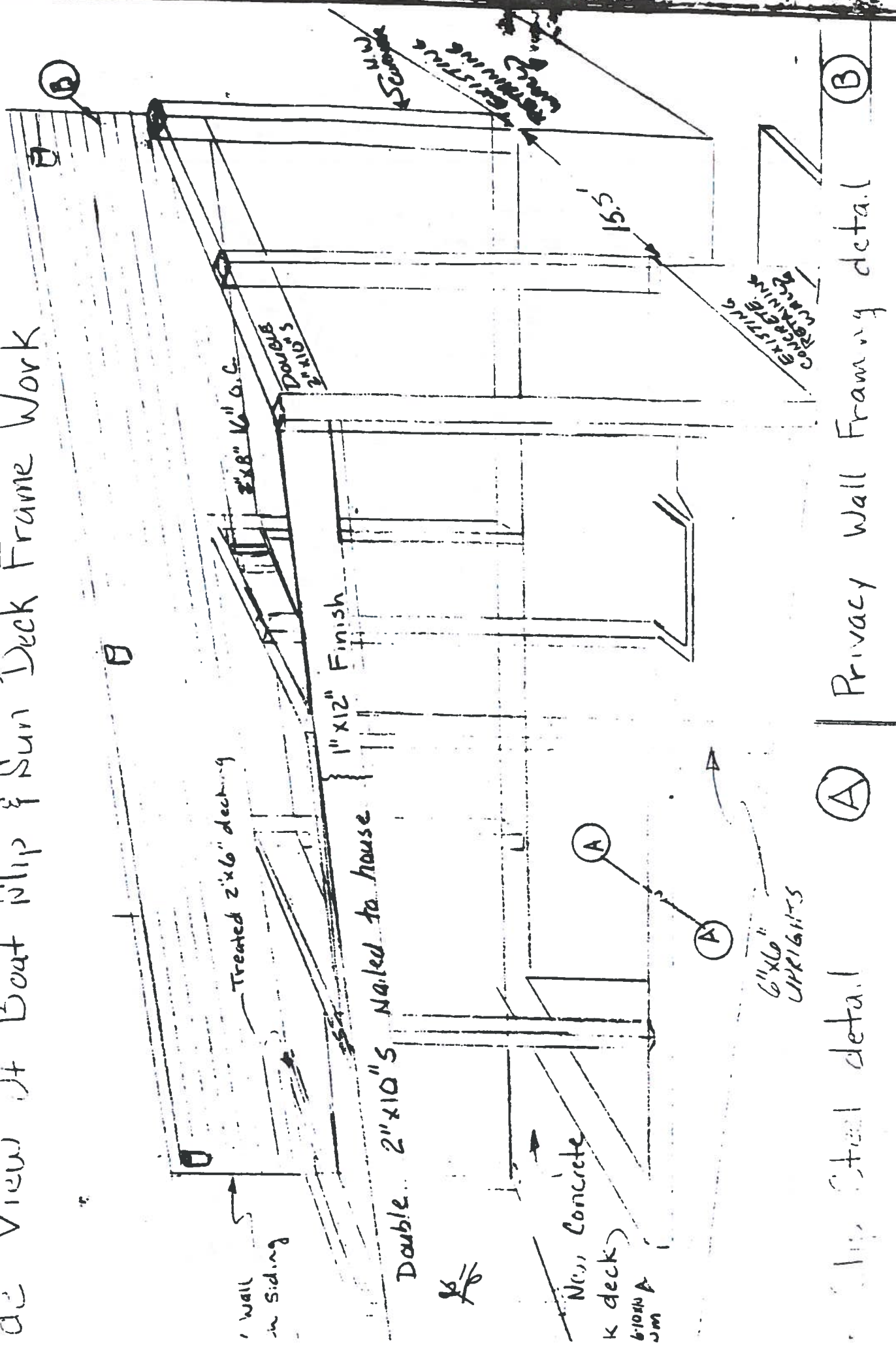


Existing Channel

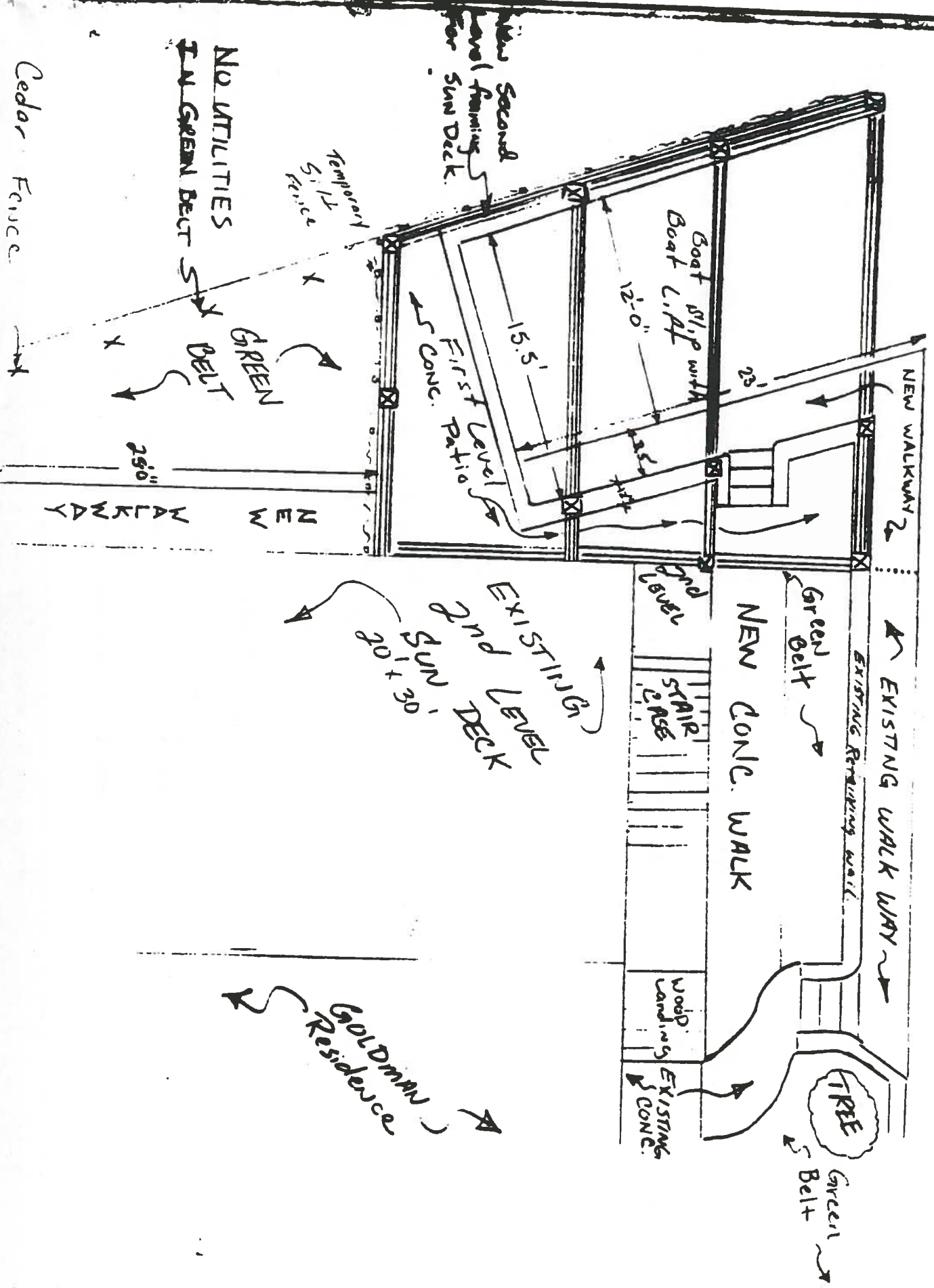


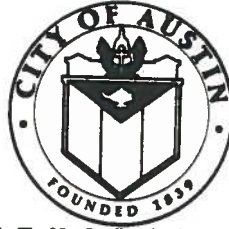
Scale 1" = 10'

# de View of Boat Slip & Sun Deck Frame Work



# Overhead View / Site Plan with Proposed Changes





## MEMORANDUM

TO: Parks and Recreation Board

FROM: Michael J. Heitz, AIA, Director  
Parks and Recreation Department

DATE:

SUBJECT: Revised plans for construction of boat dock, at 1859 Westlake Drive  
File # SP-93-0072DS

At the Board's meeting held on March 9, 1993 consideration was given to a request from Royce Reynolds, on behalf of Gordon Armour, to construct a single-slip boat dock at 1859 Westlake Drive, which is located on Bee Creek.

Because of the narrow width of Bee Creek at this location, the Park Police Lake Patrol recommended that the dock not be constructed as proposed as it would create a navigation hazard. It was suggested that a dock parallel with the shoreline would not create such a navigation hazard as it would only extend 15' into Bee Creek.

The applicant has now submitted a revised request with the dock parallel to the shoreline. The width of the dock is 25', 4' longer than the 20% rule would permit; however, because of the benefits to navigation safety the Navigation Committee felt this variance would get sympathetic consideration.

Parks and Recreation Department staff have reviewed the revised project and the site plans meet the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments), with the exception of:


1. A variance being granted for the boat dock to be 25' wide, 4' in excess of the development width permitted by the 20% rule.
2. A navigation light station provided at each end of the structure.

**Recommendation**

I recommend approval of the revised request to construct a single-slip boat dock at 1859 Westlake Drive, in accordance with Site Plan # SP-93-0072DS (Revised) subject to:

1. The Board granting a variance from the requirements of Section 13-2-795(3) to allow the development to exceed 20% of the width of the shoreline.
2. Navigation light stations being provided at end of the structure on the farthest side from the shoreline, in accordance with Section 13-2-793(b)(2)(B)(2).

If I can provide you with any additional information, please contact me.



Michael J. Heitz, AIA, Director  
Parks and Recreation Department

MH:PM

ROYCE E. REYNOLDS CONST., INC.  
408 Hammack Drive  
Austin, Texas 78752  
(512) 452-6514



March 31, 1993

**SITE DEVELOPMENT REVISION**

**NORMAN ARMOUR BOAT DOCK**  
1859 West Lake Drive  
Austin, Texas

At the request of the Parks Board preliminary study and recommendation , the boat dock that extended 30'-0" out into Lake Austin is to now extend out only 15'-0". The distance along shoreline that was 19'-0" has been changed to 25'-0" as recommended by Parks Board for approval.

All other materials, construction, and notes to be the same as before.

Thank you :

A handwritten signature in dark ink, appearing to read "Royce E. Reynolds". The signature is written in a cursive style with a horizontal line underneath it.

Royce E. Reynolds



**M E M O R A N D U M**

**TO:** Parks and Recreation Board

**FROM:** Michael J. Heitz, AIA, Director  
Parks and Recreation Department

**DATE:** February 23, 1993

**SUBJECT:** Construction of single-slip boat dock, at 1859 Westlake Drive  
File # SP-93-0072DS

A request has been received from Royce Reynolds, on behalf of Norman Armour, to construct a single-slip boat dock with deck over, at 1859 Westlake Drive.

Parks and Recreation Department staff have reviewed the project and the site plans meet the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments).

**Recommendation**

I recommend approval of the request to construct a single-slip boat dock at 1859 Westlake Drive, in accordance with Site Plan # SP-93-0072DS.

If I can provide you with any additional information, please contact me.

  
Michael J. Heitz, AIA, Director  
Parks and Recreation Department

MH:PM

~~7-15~~  
21

D I S T R I B U T I O N M E M O R A N D U M

16-FEB-1993

TO:  
FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT  
SUBJECT: DEVELOPMENT PERMIT ONLY  
COMMENT DUE DATE: 23-FEB-1993  
SP-93-0072DS

PROJECT: ARMOUR BOAT DOCK

1859 WEST LAKE DR

CASE MANAGER: VIGIL, MAPI 499-2636

APPLICATION DATE: 12-FEB-1993

ZIP: 78746  
WATERSHED: Bee ^ 2-MILE ETJ  
RURAL WATER SUPPLY

OWNER: ARMOUR, NORMAN (512)328-5235  
1859 WEST LAKE DRIVE AUSTIN, TX

CONTACT: NORMAN ARMOUR

AGENT: ROYCE E. REYNOLDS (512)452-6514  
408 HAMMACK DRIVE AUSTIN, TX 78752  
CONTACT: ROYCE E. REYNOLDS

SITE PLAN AREA: 0.012 ACRES ( 531 SQ FT)  
UTILITY OR STORM SEWER LENGTH: 0 LINEAR FEET

EXISTING ZONING:  
EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
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RELATED CASE NUMBERS (IF ANY):

OTHER PROVISIONS:

QUALIFIES AS A SMALL PROJECT  
TIA IS NOT REQUIRED  
FEE RECEIPT #: 1221262

SUBD NAME: EMMET SHELTON (UNRECORDED SUBDIVISION)  
BLOCK/LOT: BLOCK 1, LOT 3  
PLAT BOOK/PAGE: BOOK 642, PAGE 445

LEGAL DESCRIPTION:

0.811 ACRES OUT OF WILKERSON SPARKS SURVEY

PARCEL #:

VARIANCES/WAIVERS, BONUSES:

ftb  
22

ROYCE E. REYNOLDS CONST., INC.  
408 Hammack Drive  
Austin, Texas 78752  
(512) 452-6514



February 12, 1993

**DIRECTOR OF PARKS & RECREATION DEPARTMENT :**

Owner : Norman Armour  
1859 West Lake Drive  
Austin, Texas

Project Address : 1859 West Lake Drive  
0.811 Acres out of Wilkerson Sparks Survey  
also known as Lot 3 Blk. 1  
Emmet Shelton unrecorded subdivision  
Travis, County

Deed Conveying Tract in its present shape was filed for records for the first time in Vol. 642 Pg. 445 Travis, County January 28, 1941.  
Deed conveying tract to the present owner was filed for records in Vol. 11452 Page 2390 Travis, County June 6, 1991.

We hereby propose the construction of a single family, single slip Boat Dock at 1859 West Lake Dr. for owner Norman Armour.

Construction to begin on or about March 15, 1993.

There is no intent to gain shoreline or affect navigation.

All materials to meet Lake Austin / City of Austin Codes.

Electrial to City of Austin code.

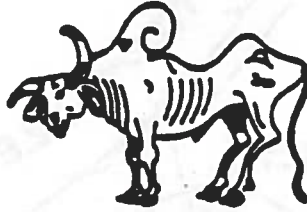
Thank you ;

Royce Reynolds

Royce E. Reynolds  
452 - 6514

~~217~~

23



February 12, 1993

**SITE DEVELOPMENT SUMMARY LETTER**

Owner : Norman Armour  
1859 West Lake Drive  
0.811 Acres out of Wilkerson Sparkes Survey  
Also known as Lot 3 Blk. 1  
Emmet Shelton unrecorded subdivision  
Austin, Texas Travis, County

Deed conveying tract in present shape was filed for records for the first time in Vol. 642 Page 445 Travis, County January 28, 1941.  
Deed conveying tract to the present owner was filed for records in Vol. 11452 Page 2390 Travis, County June 6, 1991.

Single Family, Single Slip Boat Dock

No Shoreline Alterations or Deviations

No trees in area of construction

No intent to gain shoreline or affect navigation

Project to have no affect on Natural Traditional Character of the Land/ Waterway

Construction to begin about March 15, 1993

All materials to meet Lake Austin/City of Austin Codes

City of Austin Sedimentation/Erosion Code requirements

Construction to follow plans submitted for approval of Norman Armour Boat Dock and meet all demintions, specifications and notes

Thank you ;

Royce E. Reynolds

Royce E. Reynolds  
452 - 6514



OUT OF WILKINSON SPACES SURVEY  
ALSO KNOWN AS  
LOT 3 BLK. 1 EMMET SHELTON  
UNRECORDED SUBDIVISION  
TRAVIS, COUNTY



N 29° 24' E 387.91'

ASPHALT DRIVE

MATERIAL DROP

EXISTING HOME

S 29° 28' W 370.20'

FOOT TRAFFIC ONLY  
CONSTRUCTION ACCESS

SMALL PROJECT

NO TREES IN AREA

NO SHORELINE ALTERATIONS/MODIFICATIONS

NO INTENT TO AFFECT NAVIGATION/RECREATION

NO EFFECT ON NATURAL

PROPOSED  
DOCK LOCATION

30'

19'

SHORE LINE

LAKE ADJACENT

230

26

7/14/18

R=

DO

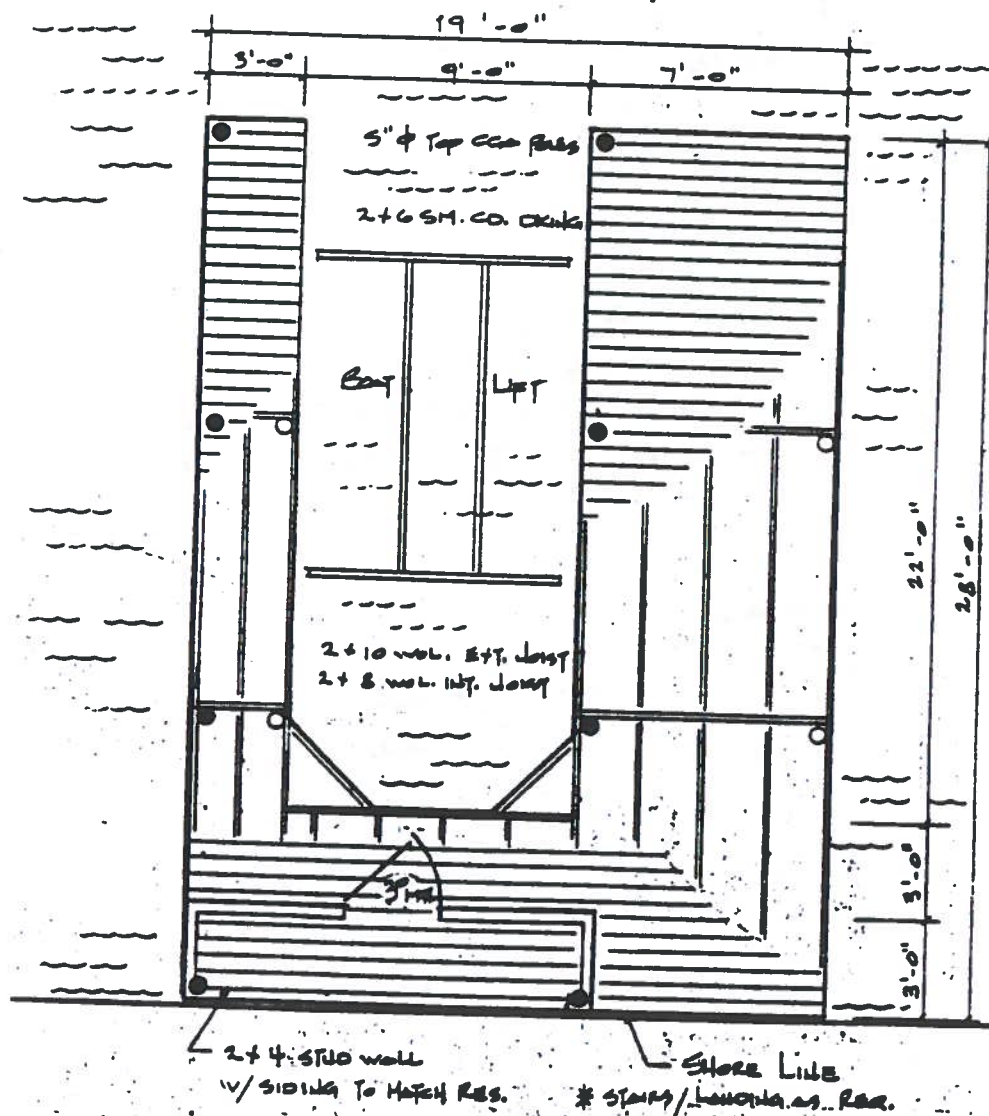
FOR

\* STAIRS DOWN / LANDING AS REQUIRED

SHORE LINE

### UPPER LEVEL DECK LAYOUT

Σ. 4' 0" 0"



\* STA  
Low  
As Re

### LOWER LEVEL Deck Layout

44-38861-1000





# MEMORANDUM

TO: Parks and Recreation Board

FROM: Michael J. Heitz, AIA, Director  
Parks and Recreation Department

DATE: April 7, 1993

SUBJECT: Construction of single-slip boat dock, at 2003 Big Horn Drive  
File # SP-93-0107DS

A request has been received from Royce Reynolds, on behalf of Ron Castro, to construct a single-slip boat dock with deck over, at 2003 Big Horn Drive.

Parks and Recreation Department staff have reviewed the project and the site plans meet the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments), with the exception of the location of the navigation light station.

## Recommendation

I recommend approval of the request to construct a single-slip boat dock with deck over at 2003 Big Horn Drive, in accordance with Site Plan # SP-93-0107DS, subject to the navigation light station being located on the upstream side of the structure where it can be easily seen by all approaching watercraft.

If I can provide you with any additional information, please contact me.

  
Michael J. Heitz, AIA, Director  
Parks and Recreation Department

MH:PM

## D I S T R I B U T I O N      M E M O R A N D U M

8-MAR-1993

TO: COMMENT DUE DATE: 16-MAR-1993  
FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT  
SUBJECT: DEVELOPMENT PERMIT ONLY SP-93-0107DS

PROJECT: CASTRO BOAT DOCK

2003 BIG HORN DR

CASE MANAGER: OSKOUIPOUR, JAVAD 499-2639

APPLICATION DATE: 8-MAR-1993

ZIP: 78734 LIM. PURPOSE  
WATERSHED: Lake Austin RURAL WATER SUPPLY

OWNER: CASTRO, RON (512)266-1662

2003 BIG HORN AUSTIN, TX

CONTACT: RON CASTRO

AGENT: ROYCE E. REYNOLDS (512)452-6514

408 HAMMACK DRIVE AUSTIN, TX 78752

CONTACT: ROYCE E. REYNOLDS

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SITE PLAN AREA: 0.014 ACRES ( 599 SQ FT)  
UTILITY OR STORM SEWER LENGTH: 0 LINEAR FEET

EXISTING ZONING:

EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
	0.000/ 0	BOAT DOCK

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RELATED CASE NUMBERS (IF ANY):

## OTHER PROVISIONS:

QUALIFIES AS A SMALL PROJECT

TIA IS NOT REQUIRED

FEE RECEIPT #: 1221365

SUBD NAME: APACHE SHORES SECTION 4

BLOCK/LOT: LOT 686

PLAT BOOK/PAGE: BOOK 52, PAGE 18

PARCEL #:

VARIANCES/WAIVERS, BONUSES:

REVIEW COMMENTS

TO: SITE PLAN PROCESSING

CASE MANAGER: Oskouipour, Javad

FROM: FILE NUM: SP-93-0107DS

PROJECT NAME: CASTRO BOAT DOCK

LOCATION: 2003 BIG HORN DR

DUE DATE: 16-MAR-1993

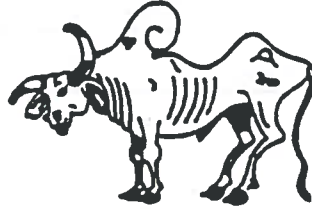
REVIEWER: MARSH, PETER

DATE: 11-MAR-1993

PD 1. This request has not reviewed or approved by the Parks and Recreation Board. It is anticipated that they will consider this at the meeting to be held on April 13, 1993.

PD 2. The navigation light station must be located on the upstream side of the structure to be easily seen by all approaching watercraft.

ROYCE E. REYNOLDS CONST., INC.  
408 Hammack Drive  
Austin, Texas 78752  
(512) 452-6514



February 5, 1993

**DIRECTOR OF PARKS & RECREATION DEPARTMENT :**

Owner : Ron Castro  
2003 Big Horn Dr.  
Aussin, Texas 78734

Project Address : 2003 Big Horn Drive  
Lot 686  
Apache Shores Sec. 4  
Austin, Texas Travis, County  
Recorded Nov 23, 1970  
Book 52 Page 18

We hereby propose the construction of a single family, single slip boat dock at 2003 Big Horn Dr. for owner Ron Castro.

Construction to begin on or about March 10, 1993.

There is no intent to gain shorelie or affect navagation.

All materials to meet Lake Austin / City of Austin Building Codes.

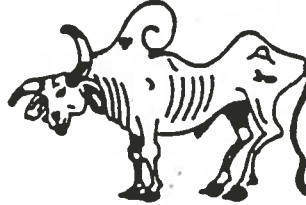
Electrial to City of Austin Code.

Thank you ;

  
-----

Royce E. Reynolds  
452 - 6514

ROYCE E. REYNOLDS CONST., INC.  
408 Hammack Drive  
Austin, Texas 78752  
(512) 452-6514



February 5, 1993

#### SITE DEVELOPMENT SUMMARY

Owner : Ron Castro  
2003 Big Horn Drive  
Lot 686  
Apache Shores  
Sec. 4  
Travis, County  
Recorded Nov. 23, 1970  
Book 52 Page 18

Single Family, Single Slip Boat Dock

No Shoreline Alterations or Deviations

No trees in area of constructions

No Intent to Gain Shoreline or Affect Navigation

Proposed Project to have NO Affect on the Natural Traditional Character of the Land or Waterway

Construction to begin about March 10, 1993

All Material to meet Lake Austin / City of Austin Codes.

City of Austin Sedimentation/Erosion Code Requirements

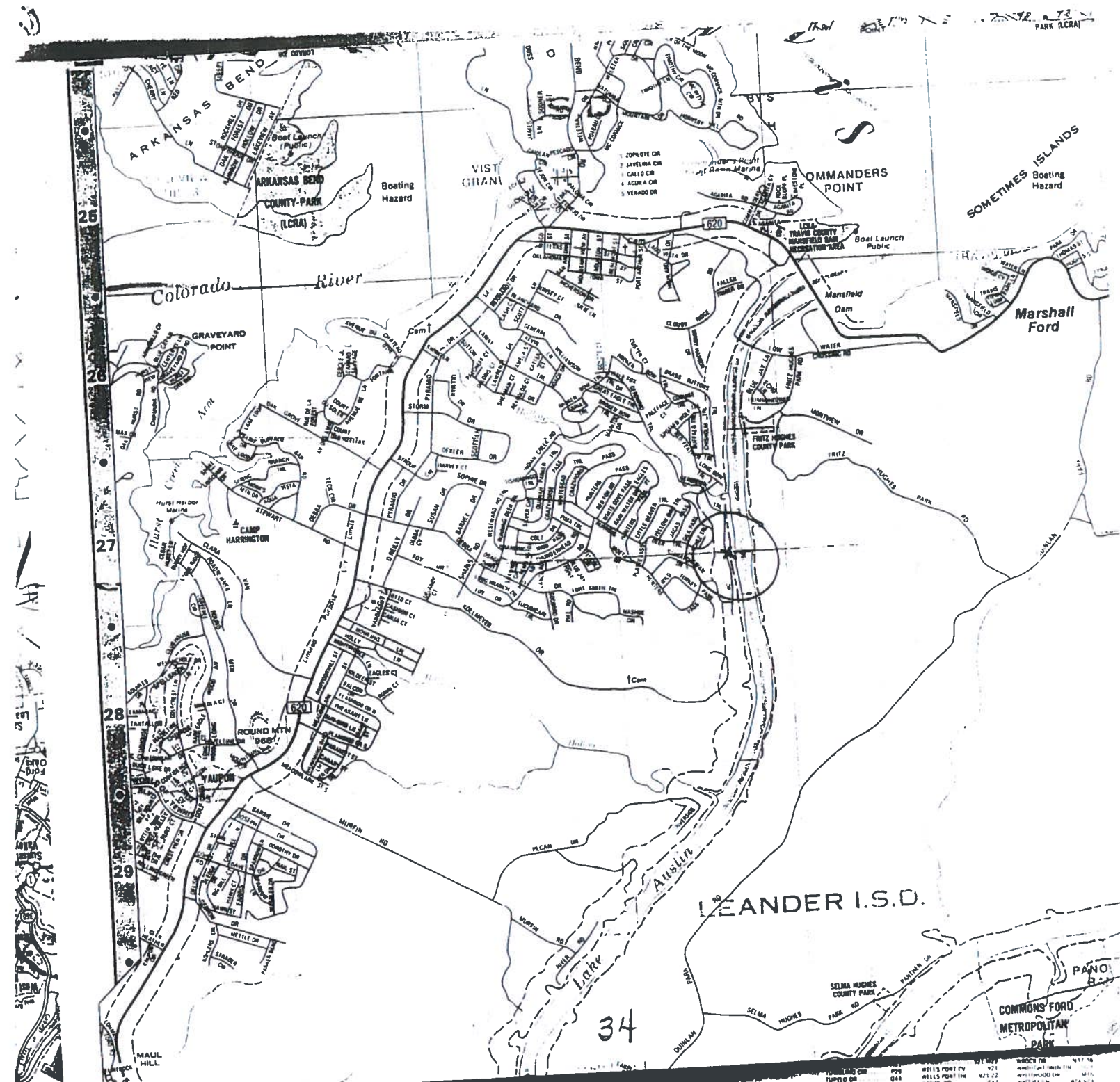
Construction to follow plans submitted for Ron Castro Boat Dock and meet all demintions, specifications and notes.

If I may assest you in any way please contact me at Royce Reynolds 452-6514

Thank you ;

Royce Reynolds

Royce E. Reynolds



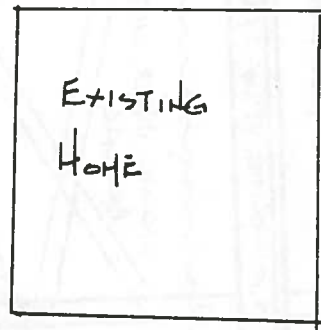


2003 BIG HORN DR.

$N 1^{\circ} 22' E$   
37.50'

$N 00^{\circ} 26' E$   
41.00'

LOT 686  
APACHE SHORES SEC. 4  
RECORDED NOV. 23, 1970  
BK. 52 PG. 18



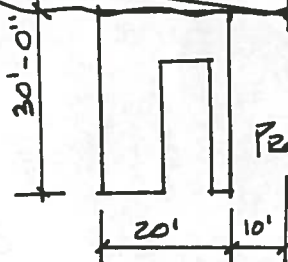
$N 70^{\circ} 44' E$   
223.26'

222.26'  
 $N 71^{\circ} 37' E$

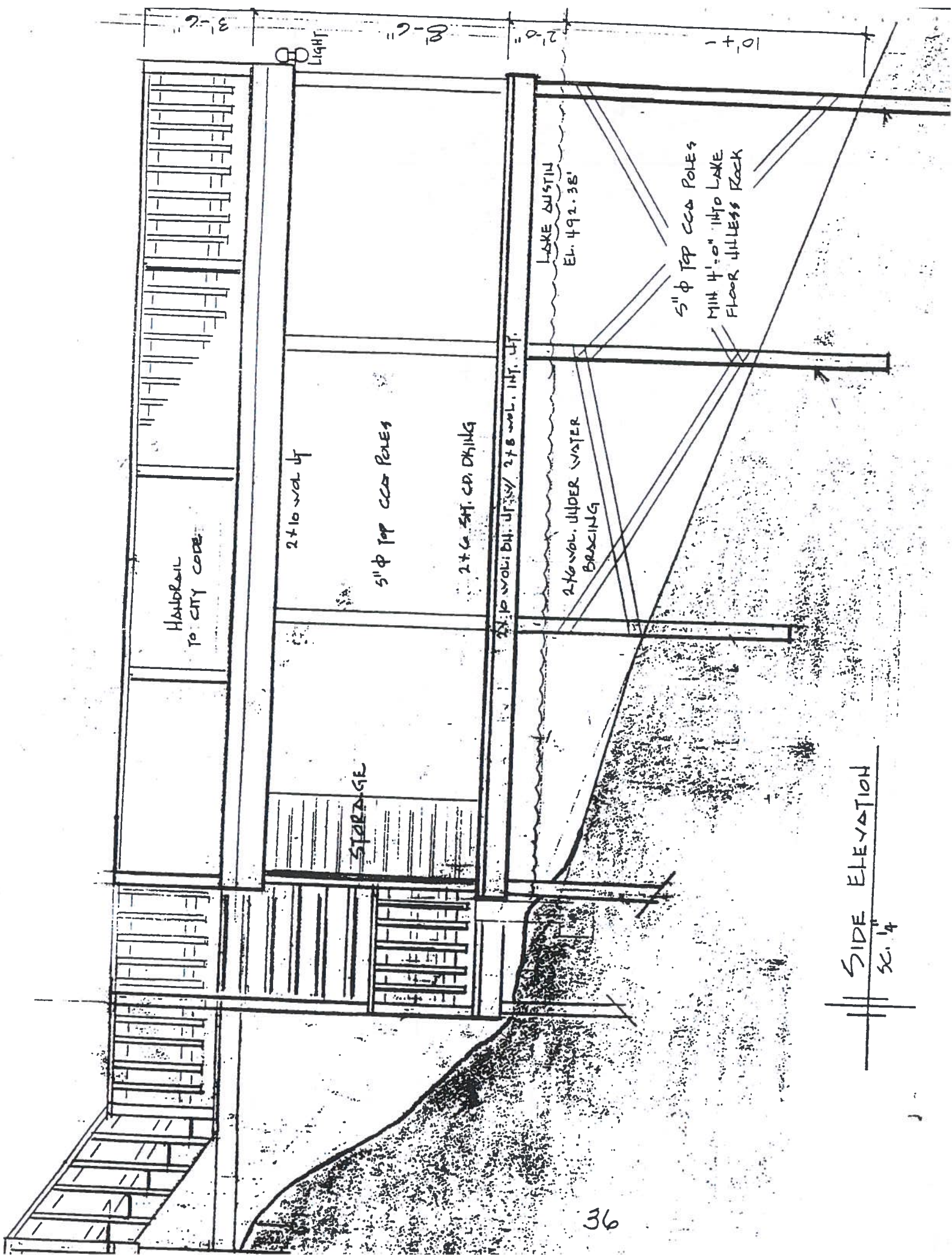
CONSTRUCTION  
ACCESS

$N 1^{\circ} 22' E$   
75.00'

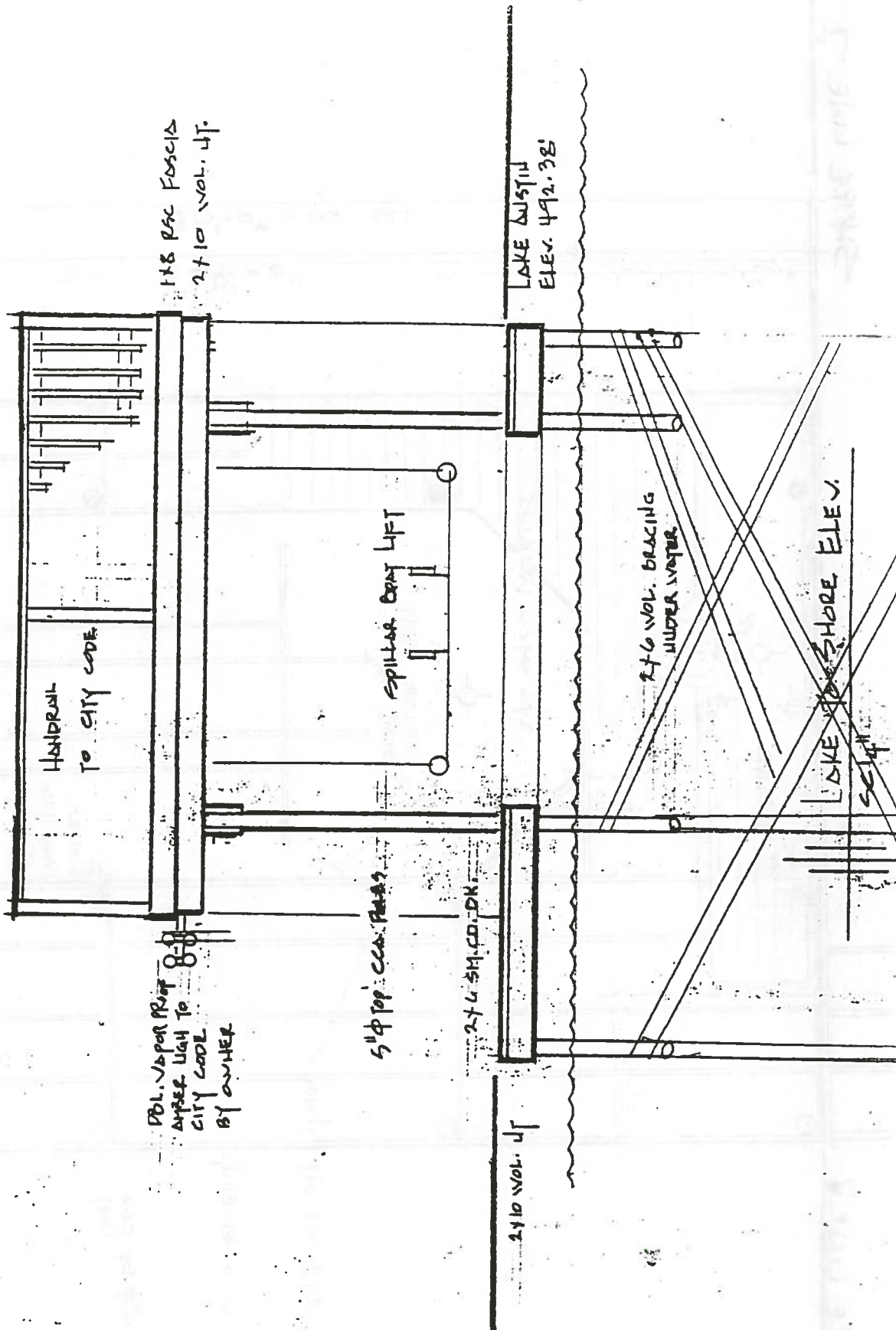
LAKE AUSTIN SHORE LINE

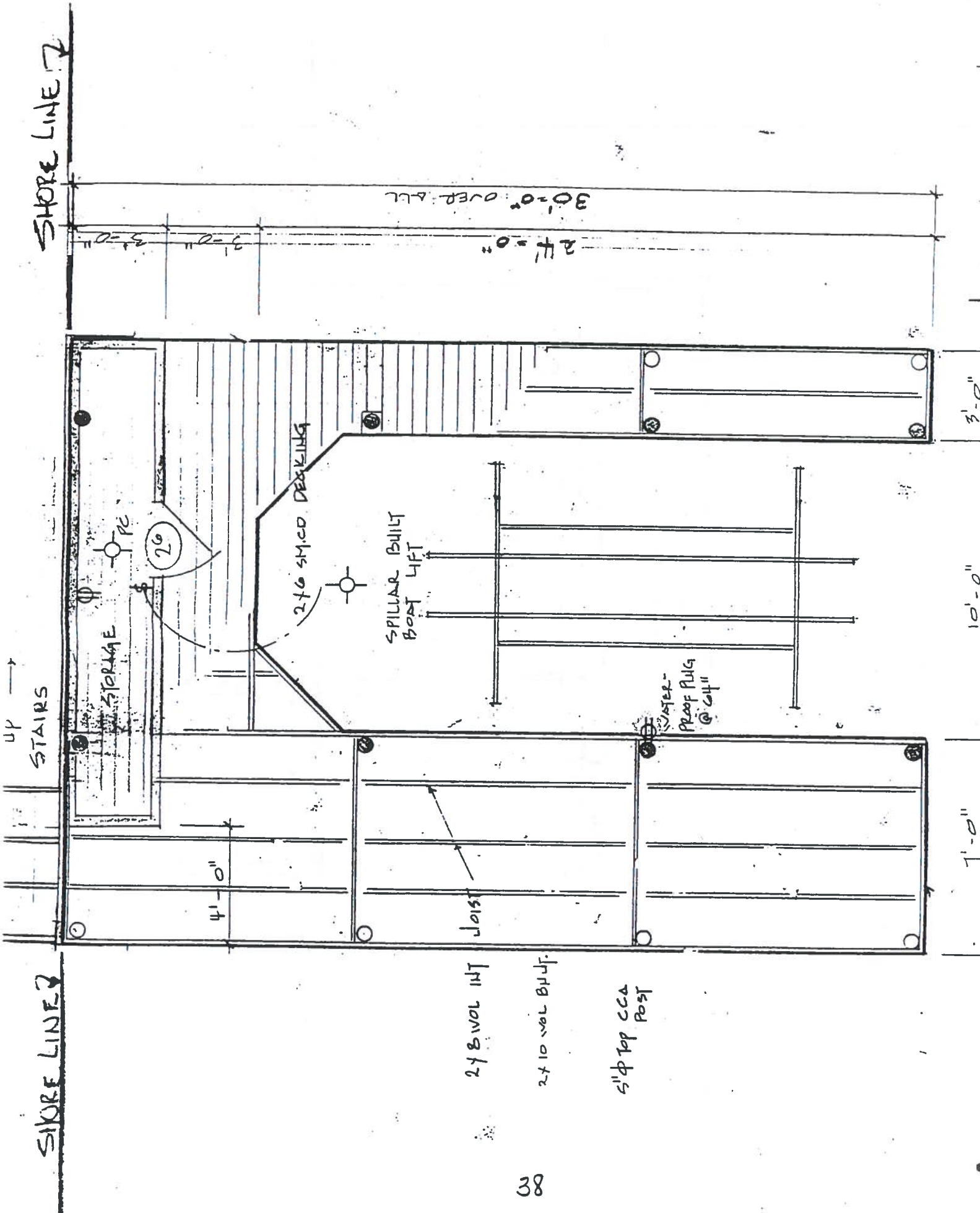


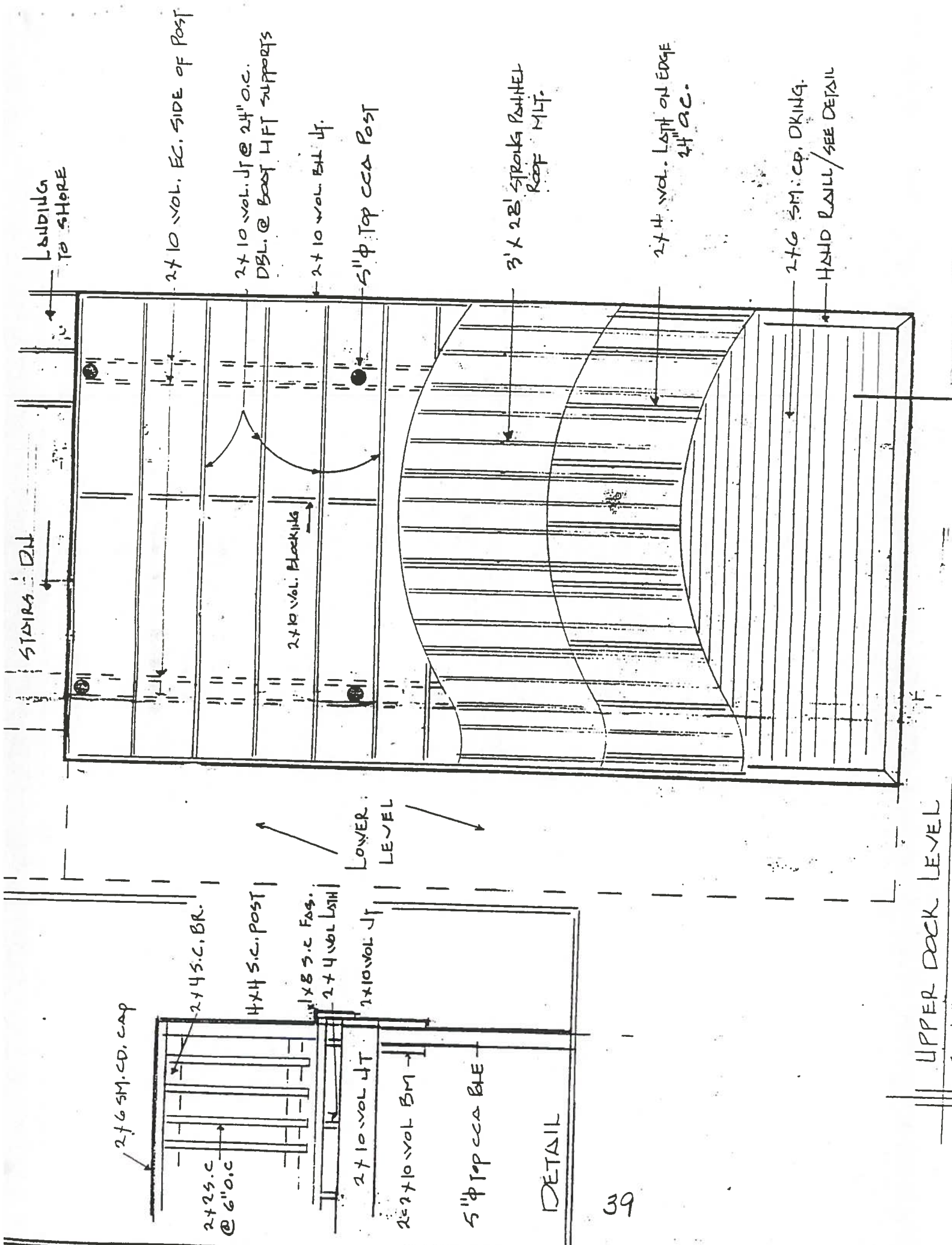
Proposed Dock Location



|| SIDE ELEVATION ||  
SC. 1/4







LANDING  
TO SHORE

2x10 VOL. EC. SIDE OF POST

2x10 VOL. JT @ 24" O.C.  
DBL. @ BOAT LIFT SUPPORTS

2x10 VOL. BLT. JT.

5"φ TOP CCA POST

3' X 28' STROKS PANEL  
ROOF MLT.

2x4 VOL. LATH ON EDGE  
24" O.C.

2x6 SM. CP. DRING.  
HAND RAIL / SEE DETAIL

STAIRS - DIT

2x10 VOL. BLOCKING

LOWER  
LEVEL

2x6 SM. CP. CAP

2x4 S.C. BR.

4x4 S.C. POST

1x8 S.C. FAS.

2x4 VOL. LATH

2x10 VOL. JT

2x10 VOL. BT

2x2x10 VOL. BM

5"φ TOP CCA BLE

DETAIL

UPPER DOCK LEVEL



**M E M O R A N D U M**

**TO:** Parks and Recreation Board

**FROM:** Michael J. Heitz, AIA, Director  
Parks and Recreation Department

**DATE:** April 7, 1993

**SUBJECT:** Construction of boat dock and retaining wall, at 2307 Manana Street.  
File # SP-93-0086DS

A request has been received from Doug Hodge to construct a covered single-slip boat dock and concrete retaining wall, at 2307 Manana Street.

Parks and Recreation Department staff have reviewed the project and the site plan with the comments addressed in the letter from Mr. Hodge (dated March 23, 1993) meet the requirements of Article VI, Division 4, Part E (Requirements for the Construction Of Boat Docks) of the Land Development Code (including all amendments).

**Recommendation**

I recommend approval of the request to construct a covered single-slip boat dock and concrete retaining wall at 2307 Manana Street, in accordance with Site Plan # SP-93-0086DS.

If I can provide you with any additional information, please contact me.

Michael J. Heitz, AIA, Director  
Parks and Recreation Department

MH:PM

TO: COMMENT DUE DATE: 2-MAR-1993  
FROM: SITE PLAN REVIEW DIVISION/PLANNING DEPT  
SUBJECT: DEVELOPMENT PERMIT ONLY SP-93-0086DS

PROJECT: HODGE RETAINING WALL & BOAT DOCK  
IMPROVEMENTS

2307 MANANA ST

CASE MANAGER: OSKOUIPOUR, JAVAD 499-2639

APPLICATION DATE: 22-FEB-1993

ZIP: FULL PURPOSE  
WATERSHED: Lake Austin RURAL WATER SUPPLY

OWNER: HODGE, DOUG (512)327-6579  
& AGENT 1001 CAPITAL OF TX HWY, BLDG. K AUSTIN, TX 78746  
CONTACT: DOUG HODGE

SITE PLAN AREA: 0.000 ACRES ( 0 SQ FT)  
UTILITY OR STORM SEWER LENGTH: 0 LINEAR FEET

EXISTING ZONING:  
EXISTING USE:

TRACT	ACRES/SQ FT	PROPOSED USE
-------	-------------	--------------

RELATED CASE NUMBERS (IF ANY):

OTHER PROVISIONS:  
QUALIFIES AS A SMALL PROJECT  
TIA IS NOT REQUIRED  
FEE RECEIPT #: 1221296

SUBD NAME:  
BLOCK/LOT:  
PLAT BOOK/PAGE:

PARCEL #:

VARIANCES/WAIVERS, BONUSES:

REVIEW COMMENTS

TO: SITE PLAN PROCESSING CASE MANAGER: Oskouipour, Javad

FROM: FILE NUM: SP-93-0086DS

PROJECT NAME: HODGE RETAINING WALL & BOAT DOCK IMPROVEMENTS

LOCATION: 2307 MANANA ST

DUE DATE: 2-MAR-1993

REVIEWER: MARSH, PETER

DATE: 11-MAR-1993

PD 1. This request has not been reviewed or approved by the Parks and Recreation Board. It is anticipated that, with these revisions made, it will be considered by the Board at the meeting scheduled for April 13, 1993.

PD 2. The letter indicates that improvements will be carried out to an existing boat dock. This is not indicated on the site plan. Before any new construction is commenced any existing structures must be completely removed.

PD 3. A 10' wide setback must be provided between the boat dock and the side property line.

PD 4. How will the concrete retaining wall be constructed with the lake at normal elevation?

PD 5. The retaining wall detail does not indicate the depth of water or the depth of backfill, these should be provided.

PD 6. The width of the foundation with the height of wall does not appear to be adequate to support the retained soil at times when the lake is lowered.

PD 7. The navigation light station should be in accordance with the requirements of the City Code and located on the downstream corner to be easily visible to all approaching watercraft.

Doug Hodge  
1001 Capital of Texas Hwy. S.  
Suite 100, Building K  
Austin, Texas 78746  
(512) 327-6530

March 23, 1993

Javad Oskouipour, Case Manager  
Department of Planning and Development,  
Parks and Recreation Board,  
City of Austin

Subject: UPDATE TO APPLICATION for Small Project -  
Retaining Wall and Boat Dock Improvement  
Case Number: SP-93-0086DS

Dear Mr. Oskouipour,

This letter is written in response to specific comments which are a part of the Site Plan Review Report dated 03/05/93.

CN 1 Several of the following responses are intended to satisfy the requirements of the Parks and Recreation Board, and will hopefully result in their approval of the plan.

EV 1 We have added the specific statement which was requested, regarding potential ground disturbance, to the updated copy of the site plan, which is attached.

PD 2 The old structures will be removed.

PD 3 We are aware of the 10 foot setback requirement, and inadvertently failed to clearly indicate the measurement in the plan. This has been corrected.

PD 4 We will wait to commence construction until the lake is down again.

PD 5 The depth of the water is an average of 492 feet.  
The depth of the backfill will be 18 inches.

PD 6 In response to your concern that "the width of the foundation with the height of the wall does not appear to be adequate to support the retained soil at times when the lake is lowered," several changes have been made which should greatly improve the strength of the

wall. These changes are represented in the cross-sectional view of the wall shown near the center of the plan.

PD 7 The navigation light station will be located on the downstream corner as required by the City Code.

SR 1 These improvements will not require any new or additional utility service.

SR 2 We will contact Sheila Rainosek regarding the application for Land Status Determination at the time when we are ready to consider further improvements to the tract.

If you have any questions concerning this update, please feel free to contact me at any time for further information or clarification:

Home - 474-9722

Work - 327-6530.

Thank you,

Doug Hodge

Doug Hodge  
1001 Capital of Texas Hwy. S.  
Suite 100, Building K  
Austin, Texas 78746  
(512) 327-6530

February 18, 1993

Department of Planning and Development,  
Parks and Recreation Board,  
City of Austin

Subject: SUMMARY LETTER for Small Project -  
Retaining Wall and Boat Dock Improvement

This letter requests your approval to build a shoreline retaining wall and bulkhead, and to improve an existing boat dock, all located at 2307 Manana Street, Austin, Texas. This project falls within the Lake Austin Rural Watershed. Dry land will not be gained by this improvement, nor will there be dredging. The shoreline will be modified only to the extent that sand will be brought in to construct a small beach, as shown in the attached plans. The expected depth of the sand will not exceed two feet. A magnolia tree, with a trunk diameter of approximately 4 inches, is currently 75% washed out, and it will be replanted close by in a more stable and secure location away from the shoreline. The root system of one cyprus tree with a trunk diameter of 7 inches will be affected by the retaining wall which will come within two feet of the tree. Two stumps are to be removed. It is anticipated that no other trees or their roots will be affected. This project is "exempt" from Watershed Protection Regulations pursuant to the 6/1/88 Land Development Code Section 13-2-502 due to having the Plat recorded and approved prior to May 18, 1986.

The boat dock improvements and retaining wall will be constructed in an environmentally conscious manner to complement the existing retaining walls, residences, and boat docks. They will be built in compliance with all City of Austin Codes, Restrictions, and Environmental Safe Guards.

In considering this request, please feel free to contact me at any time for further information or clarification:

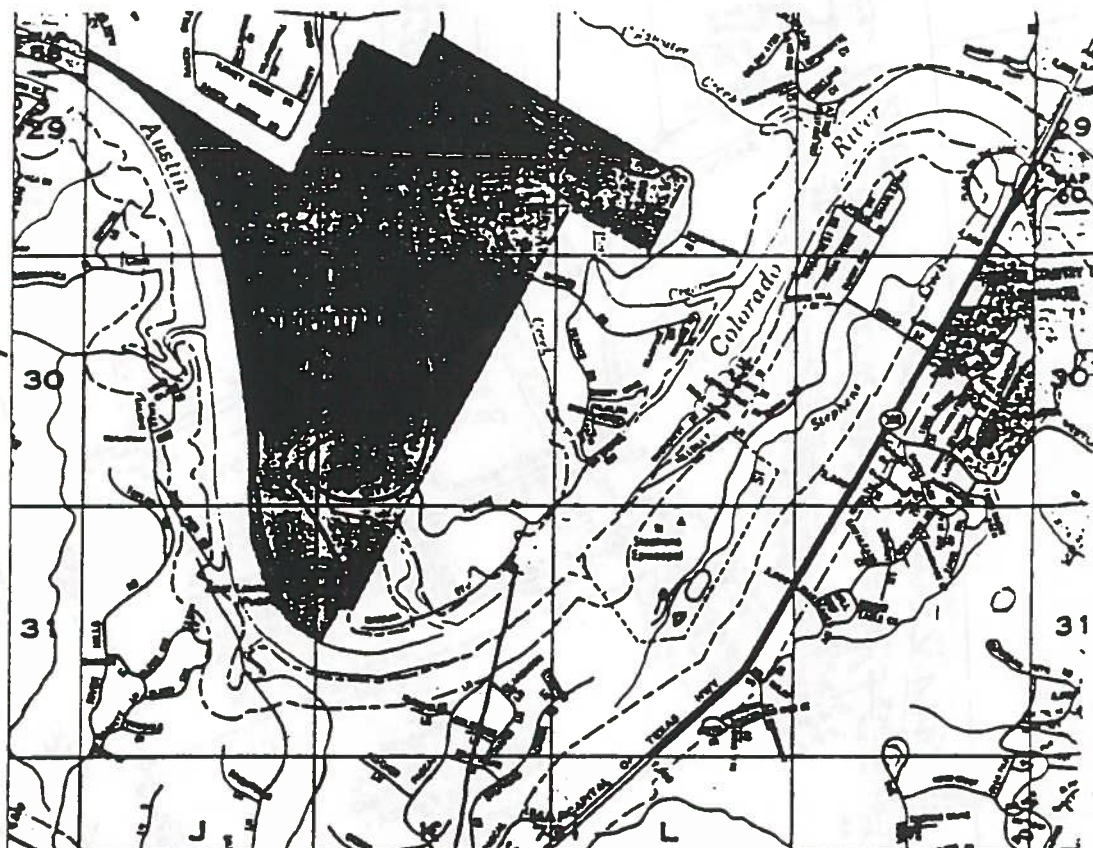
Home - 474-9722

Work - 327-6530.

Thank you,



Doug Hodge



59

FEET 1 2 3 4 5 6 7 8 9 10  
MILES 1 2 3 4 5 6 7 8 9 10  
ONE INCH BEARLS APPROXIMATELY 2000 FEET  
ONE INCH BEARLS APPROXIMATELY 5 MILES

2307 MANANA

MAP

46

PLANNING & DEVELOPMENT APPROVAL & DATE

SCALE: 1"=100'

Curve Data

I	2°36'	10°34'45"
R	2340.05	789.02'
T	66.72'	73.05'
C	133.40'	145.48'
A	133.41'	146.69'

RETAINING WALL

PEARCE ROAD

PEARCE ROAD

MANANA STREET

LAKE AUSTIN

Proposed Boat Dock

Proposed Retaining Wall

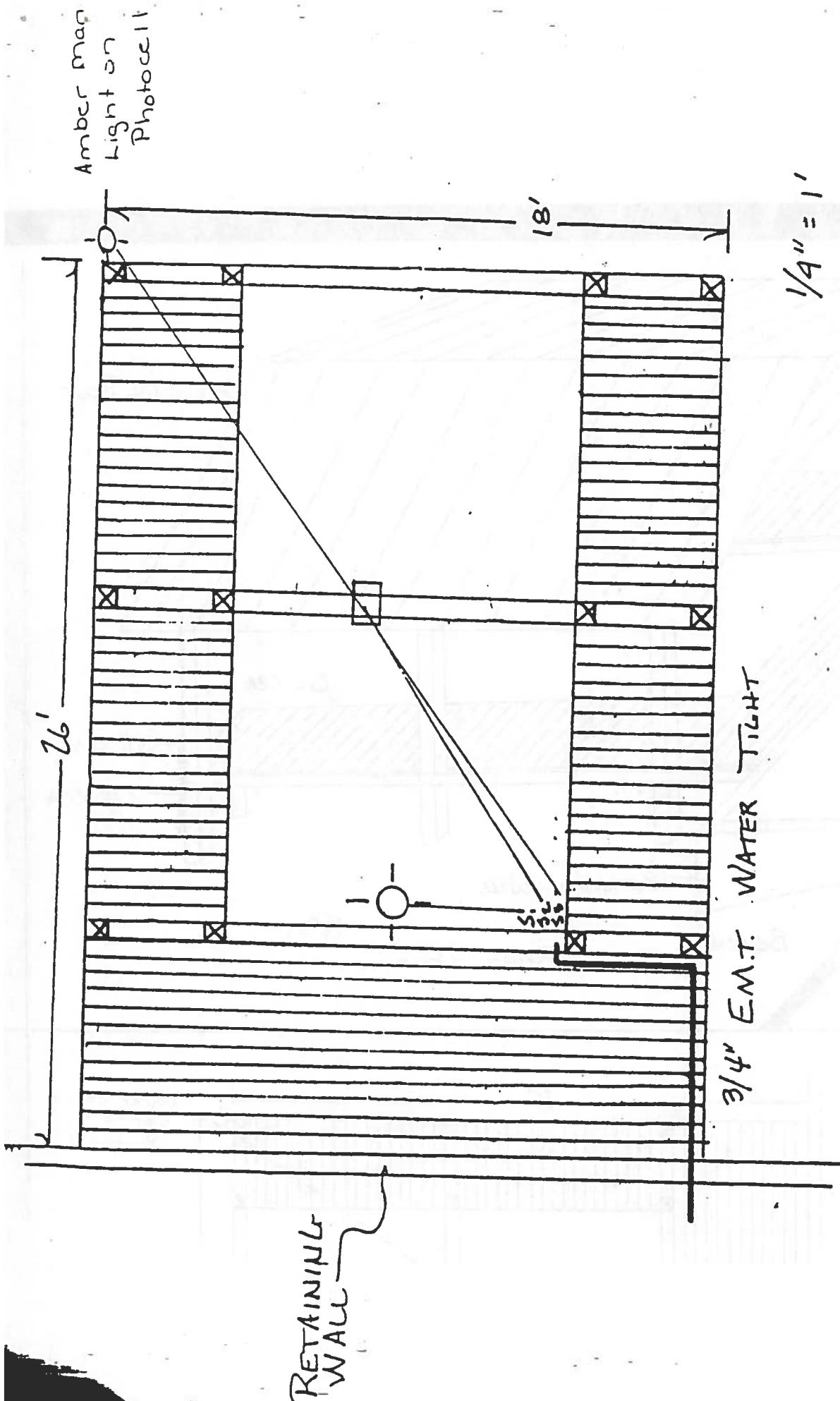
NOTE: Ownership of Lot 1 is Vested in Riverside Homeowners Association by instrument of record in Volume 5954 at page 1323 of the Travis County Deed Records.

EXHIBIT 2

GENERAL CONSTRUCTION NOTES

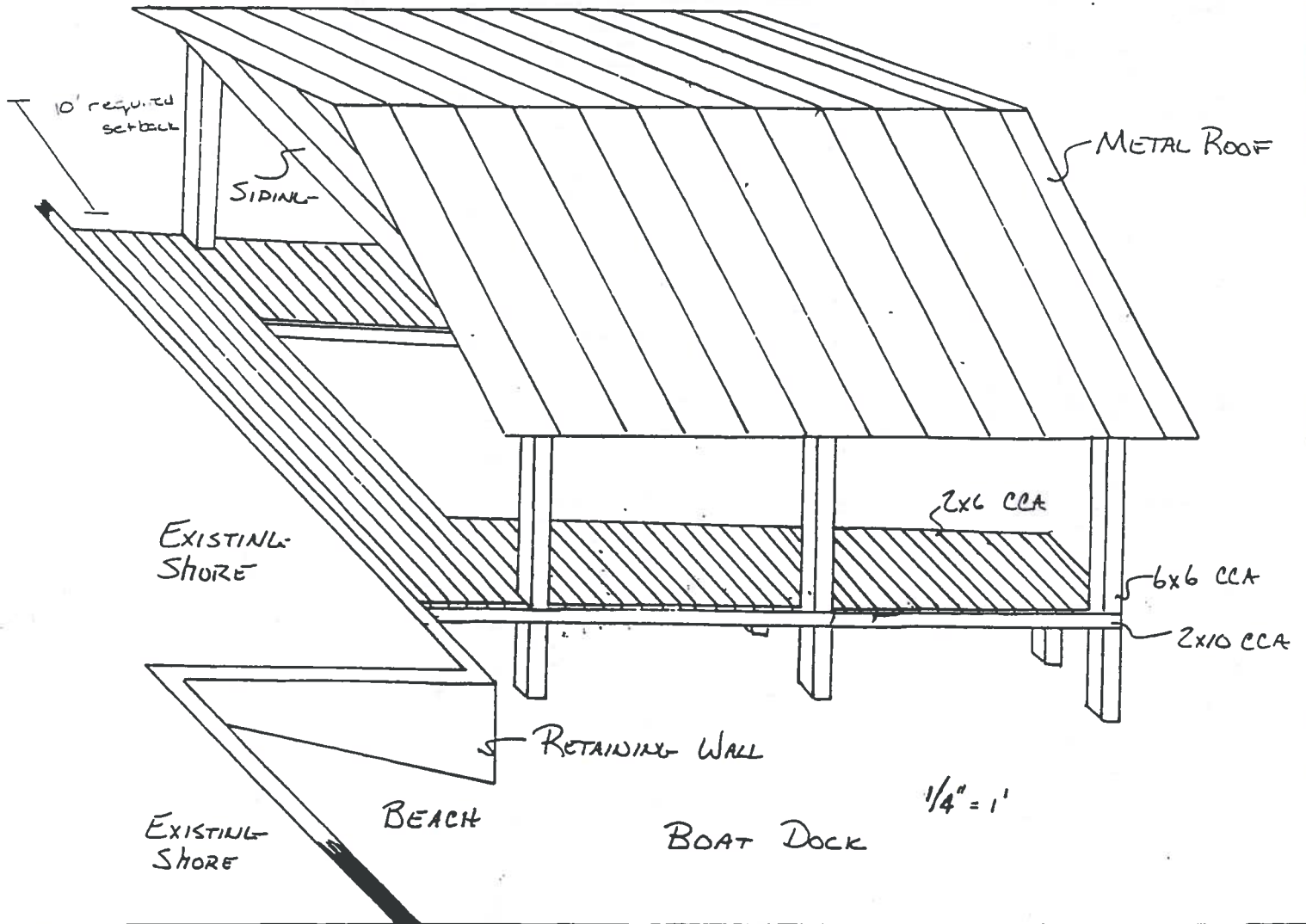
All items printed in bold lettering apply only within the City limits.

1. Contractor shall call the One Call Center (471-2822) for all locations prior to any work in City easements or street R.O.W.
2. Contractor shall notify the Department of Public Works at least 24 hours prior to



1/4" = 1'

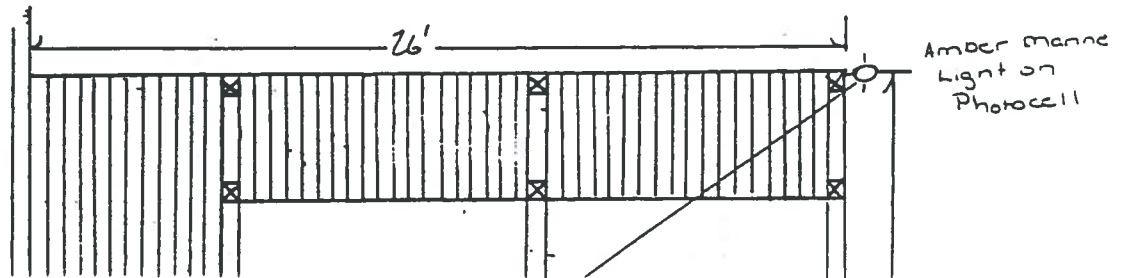
Boat Dock ELECTRICAL

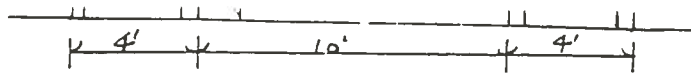


SCALE: 1"=100'

Curve Data

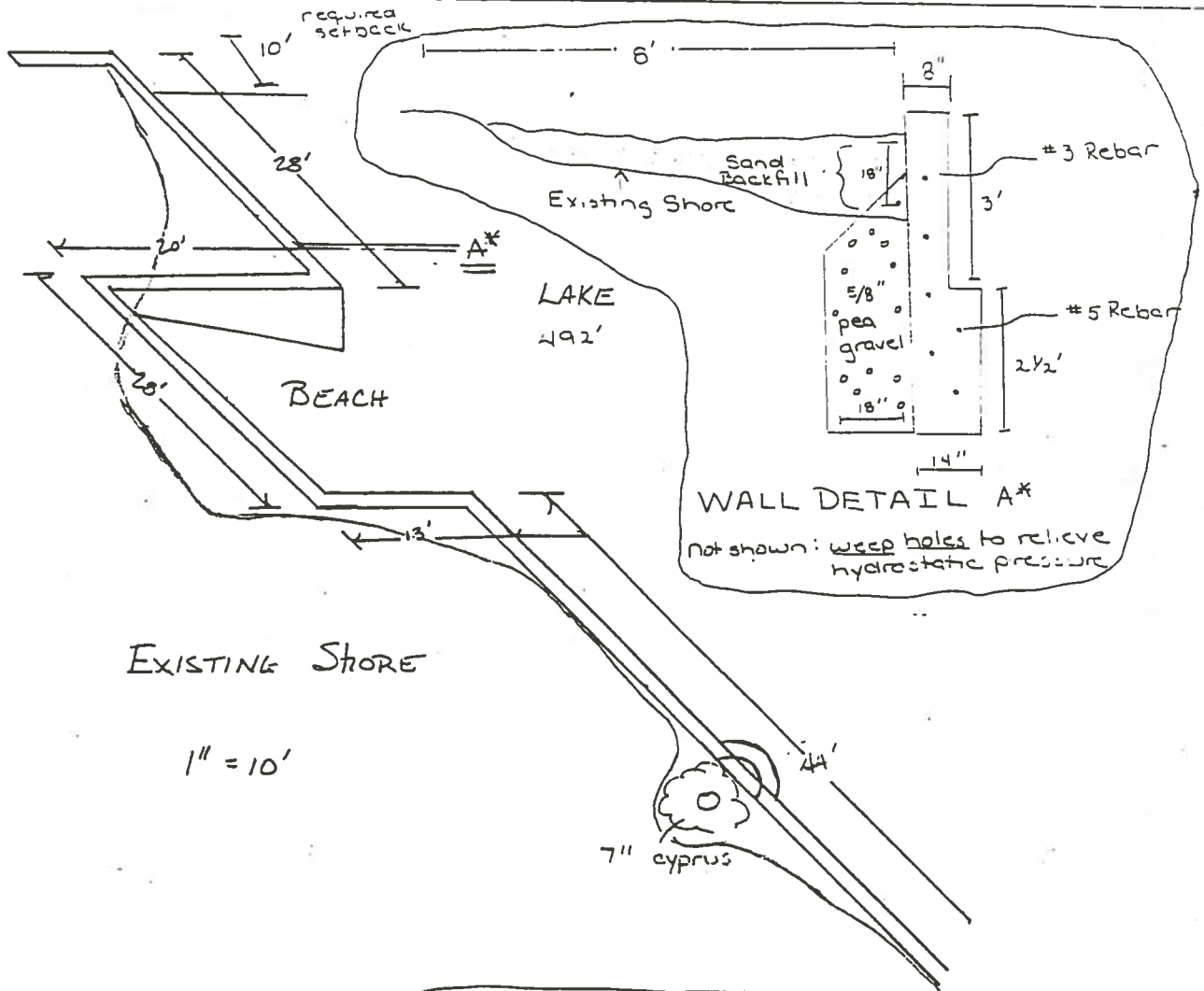
1	21.34'	2	10.34'45"
2	2340.05		783.02'
T	66.72'		73.05'
C	133.40'		145.48'
A	133.41'		146.69'





## BOAT DOCK TRUSS DETAIL

Amber manne  
light on  
Photocell



EXISTING SHORE

1" = 10'

7" cyprus

SP-93-0086DS

DOUG HODGE

Exhibit 2

shall be with hulled Bermuda  
pound per 1,000 square  
feet.

and shall be  
per acre.

or equivalent in a manner that  
sufficiently soak the soil to a  
depth of 12 inches.



## MEMORANDUM

**TO:** Jesus Olivares, Deputy Director, Parks and Recreation Department  
**FROM:** Raul Calderon, Supervising Attorney  
**DATE:** March 3, 1993  
**SUBJECT:** City co-sponsorship of "Fellow Christians" night

You informed me that the City co-sponsors the Cinco de Mayo celebration and that this year, the planning committee provisionally voted to allow a Christian Music Night. The organization staging the event is "Fellow Christians" and the committee intends to permit the organization to collect gate receipts. The singing of Christian songs is expected and there is a possibility that there may also be some preaching.

The City's sponsorship of the Cinco de Mayo celebration results in the waiver of reservation fees and the provision of equipment and assistance by the City for the staging of the celebration. The City also provides security.

While the City may not deny the use of facilities to groups or organizations because of their religious affiliations, it may not use its resources or powers to promote religious activity. The City is prohibited from providing sponsorship or financial support for religious activity, as well as being actively involved in furthering religious interests.

I advise that should the committee insist on a Christian night as planned, the City withdraw its sponsorship and assistance.

*Raul Calderon*

Raul Calderon  
Supervising Attorney

cc: Diana L. Granger, City Attorney  
Mike Heitz, Director, Parks and Recreation Department

RC:cje  
B:MJOCINCO



**C**  
Four  
Mun

f Texas, 1839

ado, P.O. Box 1088, Austin, Texas 78767 Telephone 512/499-2000

April 6, 1993

**Members of the Planning Commission:**

I am pleased to transmit for your review the options for the City of Austin's Capital Improvement Plan. The capital plan is an important component of the City's long-term investment plan. To encourage more community input and understanding, we have worked with the Planning Commission to develop recommendations for improving the planning process and the document. An attached flow chart illustrates the CIP process schedule.

The successful result of the 1992 Bond Election authorized the City of Austin to issue \$159.5 million in general obligation bonds. This has allowed us to begin work on critical public safety, health and infrastructure improvements as well as parks, senior centers, libraries, and neighborhood improvements. Included in the Bond Election was:

- ☐ \$15.4 million for Police, Fire and Emergency Medical facilities
- ☐ \$18.8 million for health and related issues
- ☐ \$49.5 million for streets, drainage and infrastructure work
- ☐ \$33.8 million for parks, libraries and recreational facilities
- ☐ \$42.0 million for environmental and conservation purchases

Attached are my recommendations for capital expenditures funded by general obligation bonds, revenue bonds and cash. This plan includes what I view as critical priorities in the areas of public safety, health, infrastructure, and flood control. The \$25 million projected for general obligation bond sales in 1993-94 includes \$18 million from items authorized in the 1992 bond propositions and \$6.7 million from the 1982 through 1984 bond elections.

The launching of a multi-year capital improvements program underscores the need for a long-term focus. A short-term approach would only widen budget gaps as we open new facilities, resulting in affordability problems in our operating budget. Facilities scheduled to come on line in the next seven years will require at least \$18 million in additional operating funds.

T 1

Electric Utility proposes expending a total of \$87 million: \$10 million for facility additions; \$26 million for existing generation additions; \$26 million for distribution and lighting improvements and \$25 million for transmissions and substations in 1993-94.

Water and Wastewater Utility proposes expending \$38.5 million in revenue bond authorization for a variety of projects to improve our water and wastewater systems.

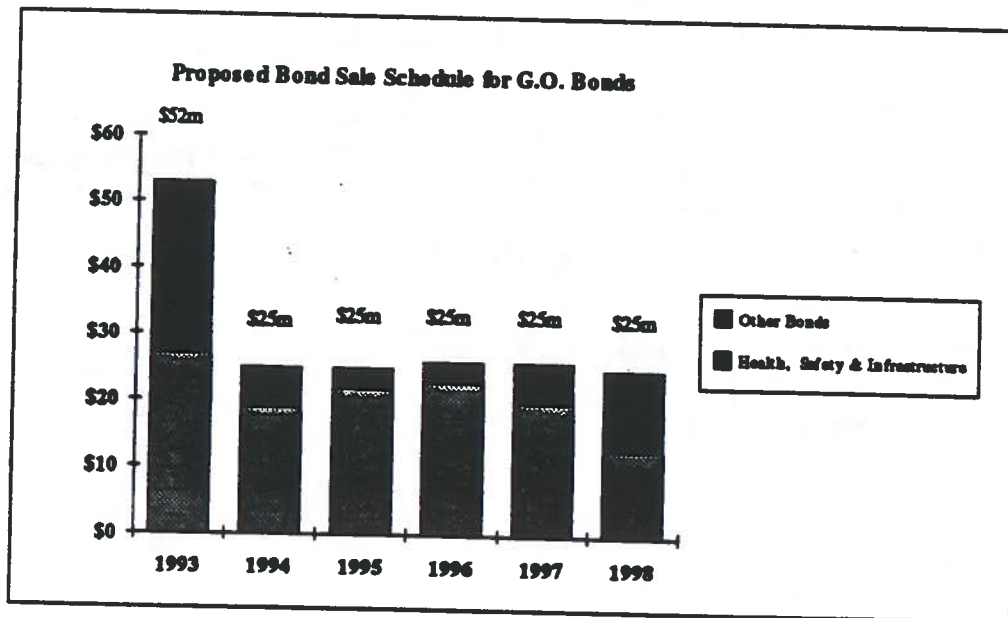
### ***Financial Management***

The City Council has adopted a comprehensive set of financial policies to guide fiscal decisions. To implement these policies, the Council limited the sale of general obligation bonds to \$25 million per year.

Because of the pent-up demand and unique opportunities, the Council approved issuance of \$52 million in bonds for fiscal year 1993. My recommendation for 1994 includes returning to a \$25 million cap. In keeping with this policy, this document includes funding in 1994 for \$25 million in general obligation projects financed by existing authorized bonds.

### ***Proposed General Obligation Bond Sale***

There is no flexibility in the bond sale schedules within the next few years. The following chart demonstrates that there is \$5 million for 1994 and \$12 million in 1998 for all G.O. bond sales, other than health, safety, and infrastructure. This schedule does not account for the \$39.5 million in authorization projected to remain after 1998.



Scheduled Bond Sale By Year	Health, Safety - Infrastructure	Parks, Libraries, Recreation & Environment
1993-94	19,021	5,979
1994-95	22,487	2,513
1995-96	22,904	3,079
1996-97	20,379	5,633
1997-98	12,857	12,143
Future	9,514	29,987
<b>TOTAL</b>	<b>107,162</b>	<b>59,334</b>

The proposed 1993-94 bond sale for general government projects includes funds totaling \$2.5 million for public safety projects, \$3.0 million for public health, \$3.0 million for environmental projects, \$3.0 million for parks and recreational facilities, and \$13.5 million for public works projects.

#### ***General Government 1993-94 Spending Plan Proposal***

The 1993-93 Spending Plan totals \$80.3 million and is financed by previous bond sales, cash transfers and the proposed bond sale. Street improvements, maintenance and flood control account for 47 percent of the proposed \$80.3 million expenditures. Parks improvements and recreational projects are 27 percent of the general government capital spending plan. Twenty six percent of the plan includes projects for health and public safety.

#### ***Proposed Revenue Bond Sale***

The proposed 1993-94 revenue bond sale is expected to be \$104 million which consists of \$38.5 million for water and wastewater utility projects, \$55.5 million for the Electric Utility and \$10 million for Aviation.

#### ***Enterprise Funds 1993-94 Spending Plan Proposal***

The proposed enterprise funds' 1993-94 spending plan is \$204 million. The emphasis of the proposed \$10 million Aviation spending plan includes projects required at Robert Mueller Airport. In addition, \$15 million for design services for Bergstrom Airport Phase I project is included. A bond election to authorize the issuance of Bergstrom Project Revenue Bonds will be held on May 1, 1993.

The Electric Utility spending plan continues to fund distribution, street lighting, transmission, and substation requirements which make up 58 percent of the \$87 million total proposed expenditures. The plan also includes general projects such as improvements to the critical communications and controls system, the energy management and control center, and facility and equipment improvements. Expenditures have also been proposed to modernize the the City's power plants and for the City's share of the South Texas and Fayette projects in the upcoming fiscal year.

The Water and Wastewater Utility spending plan of \$67 million consists of treatment plant and line improvements, service to annexed areas, utility relocations, and rehabilitation projects.

### ***Looking Ahead***

Our short-term, cutback strategy was appropriate to economic decline. It is inadequate for a recovering city. The voters, in the 1992 Bond Election affirmed our focus to the long term.

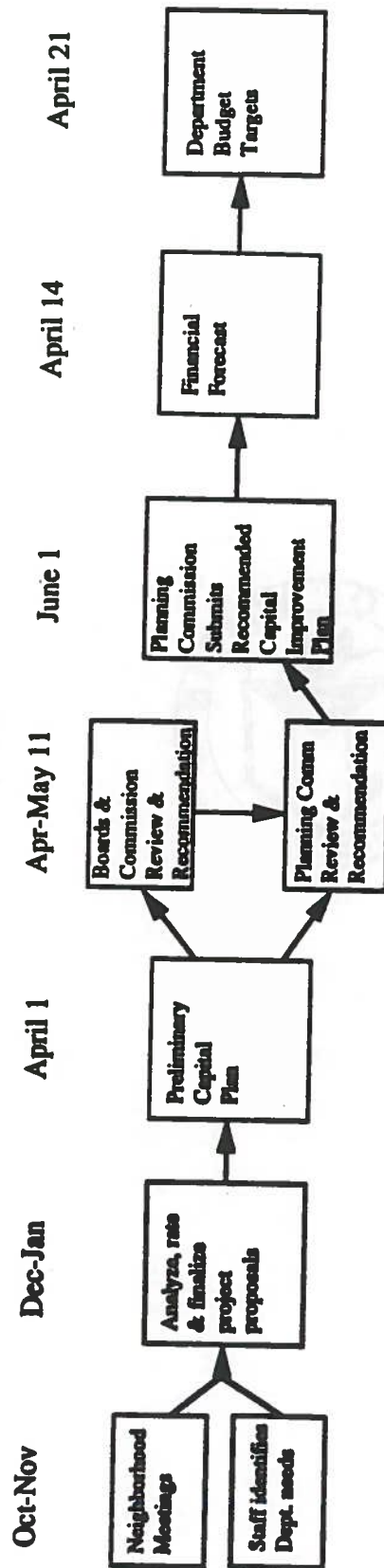
We are working from a solid base with the community. Together we have accomplished much. Together we can shape Austin's future as the most livable city in the country.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'C. Barnett', with a long horizontal flourish extending to the right.

Camille Cates Barnett, Ph.D.  
City Manager City of Austin, Texas

# CAPITAL BUDGET PROCESS





# 1993-94 Proposed General Obligation Bond Sale Schedule

Bond Year	Project Title	Bond Sale Schedule (in \$000's)							
		FY 93	FY 94	FY 95	FY 96	FY 97	FY 98	Future	Total
	<b>INFRASTRUCTURE - FLOOD CONTROL</b>								
1984	Boggy Creek Improvements			378					378
1984	Channel Impr. @ various locations	3							3
1984	Detention Ponds @ various locations			245					245
1984	East/West Bouldin								
1984	Ft Branch Boggy Creek			1,163			175		1,338
1992	Ft. & Tannehill Br Flood Control		458	3,456	583			203	4,700
1992	Little Walnut/Other Creeks	847	3,000	4,000	4,059	3,094			15,000
1992	Miscellaneous Drainage	470							470
1984	Miscellaneous Drainage	1,030	200	1,300					2,530
1984	Part w/Dvlp. Detention Ponds	80		400	679				1,159
1992	Shoal Creek Channelization	1,400							1,400
1984	Tannehill Br Boggy Creek		3,342						3,342
	<b>Total Flood Control</b>	<b>3,830</b>	<b>7,245</b>	<b>10,942</b>	<b>5,321</b>	<b>3,094</b>	<b>175</b>	<b>5,973</b>	<b>36,580</b>

# 1993-94 Proposed General Obligation Bond Sale Schedule

Bond Year	Project Title	Bond Sale Schedule (in \$000's)							
		FY 93	FY 94	FY 95	FY 96	FY 97	FY 98	Future	Total
	<b>INFRASTRUCTURE -STREETS</b>								
1984	ADA Sidewalks	750	750						1,500
1984	Alley Paving Program		70					235	305
1984	Barton Springs/Lamar-Relee	1,160							1,160
1984	Bikeway & Related				186	300			486
1984	Burleson/Bea White - Mont.	393							393
1984	Community Development District #43					606			606
1984	Congress Ave./1st-11th							724	724
1984	Duval Rd/US 183 MPRR	450							450
1984	East Austin Misc. Streets	780							780
1984	Intersect. Capacity Impr. (TSM)	1,831	883	962	947	1,162	1,334	1,458	8,577
1984	Lamar Blvd Bridge		222	585	284	2,730	3,653	26	7,500
1984	Loyola Ln/183-Jhn Morris Ph I	1,000			1,726	374			3,100
1984	Loyola Ln/J.M.-Decker Phase II				1,000	1,022			2,022
1984	Minor Bridge & Culvert				386	180	408		974
1992	Neighborhood Capital Account (sidewalks)							500	500
1984	Oltorf/S. Lamar - IH35		386						386
1984	Part. Paving Boundary Str.							298	298

# 1993-94 Proposed General Obligation Bond Sale Schedule

Bond Year	Project Title	Bond Sale Schedule (in \$000's)							Total
		FY 93	FY 94	FY 95	FY 96	FY 97	FY 98	Future	
1984	Rutherford Ln./IH35-Cameron						1,189		1,189
1984	S. First St. Bridge/W 1st	244							244
1984	Spicewood Springs/Mesa-360	643							643
1984	Stassney/Nuckols-Burleson			1,000	600	144	1,431		3,175
1992	Street Reconstruction	3,951	2,547	3,755	3,942	1,805			16,000
1984	Teri Road/IH35-Friedrich	454							454
1992	Traffic Signals	2,000	2,190	2,295	2,295	1,990	730		11,500
	Total Streets	13,656	7,048	8,597	11,366	10,313	8,745	3,241	62,966
	TOTAL INFRASTRUCTURE	17,486	14,293	19,539	16,687	13,407	8,920	9,214	99,546
	PARKS, RECREATION & OPEN SPACE								
1992	Balcones Canyonlands Conservation Plan	8,000	3,000	2,000	2,000	3,000	4,000		22,000
1992	Barton Creek Underpass	120							120
1992	Barton Creek Wilderness Park	1,000						19,000	20,000
1992	Barton Springs Rd. Bridge						400		400
1984	Colony Park Development	104							104
1984	Colorado River Acquisition		350	40	335				725
1982	Congress Avenue Irrigation	24							24
1984	Cook School/Park							117	117

# 1993-94 Proposed General Obligation Bond Sale Schedule

Bond Year	Project Title	Bond Sale Schedule (in \$000's)							Total
		FY 93	FY 94	FY 95	FY 96	FY 97	FY 98	Future	
1992	Dick Nichols Park						500		500
1992	Dove Springs Recreation Center	2,200							2,200
1984	Downtown Revitalization	5							5
1985	Downtown Art Museum								
1992	Garden Center Improvements	750							750
1992	Govalle Ball Fields	130							130
1982	Growth Area Land Acquisition	63							63
1984	Lucy Read School Park		52						52
1992	Montopolis Area Sports Complex	2,657	293						2,950
1984	Mt. Bonnell	40							40
1984	Nature Preserves Management	39							39
1992	Neighborhood Capital Account		200					300	500
1984	Northwest District Park			123					123
1984	Patterson Park	53							53
1984	Pillow School Park		17					69	86
1984	Rebekah Baines Johnson Park	100	94					200	394
1992	Recreation Center Improvements	300						1,100	1,400
1982	Research Blvd./Kramer Ln.							645	645
1992	Roof Replacements - PARD	228	221	232	417				1,098

# 1993-94 Proposed General Obligation Bond Sale Schedule

Bond Year	Project Title	Bond Sale Schedule (in \$000's)							Total
		FY 93	FY 94	FY 95	FY 96	FY 97	FY 98	Future	
1984	Sanchez School Park	63							63
1992	South Austin Senior Activity Center	600	1,500						2,100
1984	Southwest Soccer Complex				327				327
1982	Spicewood Spgs Neighborhood Park Devel	74							74
1992	Senior Activity Center Parking Garage							600	600
1984	Town Lake Renovation	197							197
1992	Walker Creek Hike & Bike	750							750
1984	Walnut Creek Metro Park			118					118
1982	West Bouldin Creek Development							100	100
1982	Williamson Creek Greenbelt Acq		102						102
1992	Zaragoza Recreation Center	2,600							2,600
1992	Zilker Hillside Theatre	350							350
1992	Zilker Park						400		400
1992	Zilker Playscape		150					100	250
1992	Zone I Land Acquisition	252							252
1982	Zone 10 Land Acquisition							499	499
	Total Parks, Recreation & Open Space	20,699	5,979	2,513	3,079	3,000	5,300	28,220	68,790

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1993-94 Proposed General Obligation Bond Sale Schedule

Bond Year	Project Title	Bond Sale Schedule (in \$000's)							Total
		FY 93	FY 94	FY 95	FY 96	FY 97	FY 98	Future	
	<b>Libraries</b>								
1992	Austin History Center -HVAC	2,580							2,580
1992	Dove Springs Branch	33					1,780		1,813
1984	Library - to be reallocated					100			100
1992	Milwood Branch	600				1,333	508		2,441
1992	North Loop Branch	684					160	1,767	2,611
1992	Oak Hill Branch	600					1,855		2,455
1992	Windsor Park Branch	500				600	1,275		2,375
1992	Zaragoza Branch	255				600	1,265		2,120
	Total Libraries	5,252	0	0	0	2,633	6,843	1,767	16,495
	<b>TOTAL PARKS AND LIBRARIES</b>	<b>25,951</b>	<b>5,979</b>	<b>2,513</b>	<b>3,079</b>	<b>5,633</b>	<b>12,143</b>	<b>29,987</b>	<b>85,285</b>
	<b>Emergency Medical Services</b>								
1992	EMS Aid #10 Expansion	260							260
1992	EMS Aid #18 Construction	260							260
1992	EMS Aid #4 Expansion	320							320
1992	EMS Aid #8 Expansion	175							175
	<b>Total Emergency Medical Services</b>	<b>1,015</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1,015</b>

# 1993-94 Proposed General Obligation Bond Sale Schedule

Bond Year	Project Title	Bond Sale Schedule (in \$000's)								Total
		FY 93	FY 94	FY 95	FY 96	FY 97	FY 98	Future		
	<b>Fire Stations</b>									
1992	Fire Station - Burleson & Drossett	983	1,272						2,255	
1992	Fire Station - Foremost & Congress				450	1,805			2,255	
1992	Fire Station - Undesignated Site	1,955						300	2,255	
1992	Fire Station - US 71 & Fletcher			983	1,012				1,995	
	<b>Total Fire Stations</b>	2,938	1,272	983	1,462	1,805	0	300	8,760	
	<b>Police Stations</b>									
1992	East Police Substation	850							850	
1992	Northwest Police Substation	1,500	1,250						2,750	
1992	South Police Substation			25	1,955				1,980	
	<b>Total Police Stations</b>	2,350	1,250	25	1,955	0	0	0	5,580	
	<b>ADA, Asbestos, Health</b>									
1992	Accessible Adaptation Funds (Parks)	100	100	100		2,057	3,643		6,000	
1992	Architectural Barriers (ADA)	800	400						1,200	
1992	Asbestos Abatement General Fund	1,150	1,706	1,840	2,800	3,110	294		10,900	
1992	East Austin Health Clinic HVAC	700							700	
	<b>Total ADA, Asbestos, Health</b>	2,750	2,206	1,940	2,800	5,167	3,937	0	18,800	
	<b>Total Sale Schedule</b>	52,490	25,000	25,000	25,983	26,012	25,000	39,501	218,986	

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# Parks and Recreation

The Parks and Recreation Department manages a wide variety of public recreation programs and parkland. The 1993-94 Capital Plan will propose funding new park facilities in unserved areas of Austin, and the renovation of existing parks. Also included is the construction of a new senior activity center in south Austin, continued expansion of the Colorado River Park, the renovation of heavily-used neighborhood parks throughout Austin, further acquisition for the Williamson Creek Greenbelt, and roof repairs at recreation centers.



*City of Austin*

# **Parks and Recreation** **1993-94 Capital Improvements Plan** **(\$ in 1,000's)**

Project Number	Project Name	Appropriations thru Sep-93	Auth. but Unissued Bonds	Proposed 93-94 Bond Sale	Estimated Expenses thru Sep-93	FY 1994	FY 1995	FY 1996	FY 1997	FY 1998	Future Years
304 947 0004	APP-Holy Warehouse Art	13	0	0	13	0	0	0	0	0	0
304 947 0005	APP-Decker Electric Shop Art	6	0	0	6	0	0	0	0	0	0
304 947 0006	APP-Additions to Existing Serv. Ctr.	6	0	0	6	0	0	0	0	0	0
452 947 0011	APP-Avantie Plaza Art	33	0	0	33	0	0	0	0	0	0
811 867 0091	Zone 2 Land Acquisition Undesignated	350	0	0	35	315	0	0	0	0	0
811 867 0094	Land Acquisition-Zone 10	500	499	0	1	0	0	0	0	499	0
811 867 0101	Zone 9 Balland/Wilson Ck Ac.	3	0	0	3	0	0	0	0	0	0
811 867 0102	Zone 9 Land Acq-W Jewell's	62	0	0	62	0	0	0	0	0	0
811 867 0247	Colony Park	50	0	0	45	5	0	0	0	0	0
811 867 0249	Community Swimming Pool Zone 10	400	0	0	330	70	0	0	0	0	0
811 867 0256	Festival Beach Restroom	85	0	0	85	0	0	0	0	0	0
811 867 0257	Rest Gardens Lighting	10	0	0	10	0	0	0	0	0	0
811 867 0275	Old Bakery	493	0	0	493	0	0	0	0	0	0
811 867 0285	Sanchez School Park	80	0	0	80	0	0	0	0	0	0
811 867 0296	Zaragoza Park & Rec. Center	153	0	0	123	30	0	0	0	0	0
811 867 0297	Congress Avenue Irrigation	25	0	0	25	0	0	0	0	0	0
811 867 0360	Big Walnut Creek Greenbelt	380	0	0	320	60	0	0	0	0	0
811 867 0363	Growth Area Land Acq.	661	95	0	588	63	0	0	0	0	95
811 867 0365	Land Options Acquisition	200	0	0	130	70	0	0	0	0	0
811 867 0370	Research Boulevard/Kramer Lane	650	645	0	5	0	0	0	0	0	645
811 867 0471	Bull Creek District Park Development	150	0	0	150	0	0	0	0	0	0
811 867 0475	Recreation Center- Zone 10	1,400	0	0	1,581	19	0	0	0	0	0
811 867 0477	Spicewood Springs Neighborhood Park	150	0	0	85	65	0	0	0	0	0
811 867 0479	Williamson Creek Greenbelt Develop.	90	0	0	30	60	0	0	0	0	0

# Parks and Recreation 1993-94 Capital Improvements Plan (\$ in 1,000's)

Project Number	Project Name	Appropriations thru Sep-93	Auth. but Unissued Bonds	Proposed 93-94 Bond Sale	Estimated Expenses thru Sep-93	FY 1994	FY 1995	FY 1996	FY 1997	FY 1998	Ful Yr
811 867 0480	West Bouldin Creek Development	100	100	0	0	0	0	0	0	0	0
811 867 0483	Hill School/Park	100	0	0	82	18	0	0	0	0	0
811 867 0553	Little Walnut Creek Greenbelt Acq.	160	0	0	60	100	0	0	0	0	0
811 867 0555	Williamson Creek Greenbelt Acq.	105	102	102	3	102	0	0	0	0	0
811 867 0611	Lions Golf Course Clubhouse	500	0	0	424	76	0	0	0	0	0
811 867 0697	Community Gardens	20	0	0	20	0	0	0	0	0	0
811 867 0706	Gills Park	80	0	0	50	30	0	0	0	0	0
811 867 0784	Oada Springs Detention Pond	40	0	0	9	31	0	0	0	0	0
811 867 0791	Pearse Park	50	0	0	40	10	0	0	0	0	0
811 867 0895	Slaughter Creek District Park	0	0	0	1,536	8	0	0	0	0	0
817 867 0107	East Bouldin Creek Acquisition	300	0	0	220	80	0	0	0	0	0
817 867 0185	Barfau Creek Greenbelt Acquisition	0	0	0	23	0	0	0	0	0	0
817 867 0350	Roof Replacements Park Facilities	182	0	0	182	0	0	0	0	0	0
817 867 0545	Barfau Creek Greenbelt Acquisition	4,400	0	0	4,400	0	0	0	0	0	0
817 867 0960	Little Walnut Creek Acq.	150	0	0	100	50	0	0	0	0	0
817 867 0961	West Bouldin Creek Acquisition	75	0	0	75	0	0	0	0	0	0
821 867 0060	Barfau Creek District Park/Pool	898	0	0	898	0	0	0	0	0	0
821 867 0061	Brentwood Pool Renovation	173	0	0	173	0	0	0	0	0	0
821 867 0062	Chilton Pool Renovation	143	0	0	143	0	0	0	0	0	0
821 867 0063	Govalla Pool Renovation	282	0	0	282	0	0	0	0	0	0
821 867 0064	Keating Pool Renovation	191	0	0	191	0	0	0	0	0	0
821 867 0066	Metz Pool Renovation	192	0	0	192	0	0	0	0	0	0
821 867 0068	Patterson Pool Renovation	165	0	0	165	0	0	0	0	0	0
821 867 0069	Reed Park Renovation	168	0	0	168	0	0	0	0	0	0

# **Parks and Recreation** **1993-94 Capital Improvements Plan** **(\$ in 1,000's)**

Project Number	Project Name	Appropriations thru Sep-93	Auth. but Unissued Bonds	Proposed 93-94 Bond Sale	Estimated Expenses thru Sep-93	FY 1994	FY 1995	FY 1996	FY 1997	FY 1998	Future Years
821 867 0070	Shipe Pool Renovation	235	0	0	235	0	0	0	0	0	0
821 867 0071	Westenfield Pool Renovation	249	0	0	249	0	0	0	0	0	0
821 867 0072	Zarogosa Pool Renovation	201	0	0	201	0	0	0	0	0	0
821 867 0073	Community Swimming Pool-Zone 1	164	0	0	164	0	0	0	0	0	0
821 867 0076	Community Swimming Pool Zone 10	179	0	0	179	0	0	0	0	0	0
821 867 0079	Pools - 1964 Proposition 23	361	0	0	215	146	0	0	0	0	0
822 867 0081	Colorado River Park Acquisition	3,180	725	350	2,455	350	40	335	0	0	0
822 867 0082	Nature Preserves Acquisition	1,734	0	0	1,734	0	0	0	0	0	0
822 867 0083	Williamson Creek Greenbelt	112	0	0	112	0	0	0	0	0	0
822 867 0084	Slaughter Creek Greenbelt	112	0	0	112	0	0	0	0	0	0
822 867 0085	Land Acquisition Zone 1	675	0	0	675	0	0	0	0	0	0
822 867 0090	Land Acquisition Zone 2	675	0	0	675	0	0	0	0	0	0
822 867 0096	Land Acquisition - Zone 10	618	0	0	618	150	0	0	0	0	0
822 867 0098	Bull Creek Greenbelt Acquisition	119	0	0	19	100	0	0	0	0	0
823 867 0001	Southwest Soccer Complex	327	327	0	0	0	0	0	0	0	0
823 867 0031	Town Lake Redevelopment	1,911	0	0	1,881	30	0	327	0	0	0
823 867 0032	Town Lake Restoration Plan	25	0	0	25	0	0	0	0	0	0
823 867 0080	Accessible Adaptations	106	0	0	106	0	0	0	0	0	0
823 867 0084	Andrews School Park	112	0	0	84	28	0	0	0	0	0
823 867 0087	Barrington School Park	119	0	0	59	60	0	0	0	0	0
823 867 0088	Battlebend Neighborhood Park	106	0	0	96	10	0	0	0	0	0
823 867 0089	Boggy Ck Gmblt/Road Related	21	0	0	21	0	0	0	0	0	0
823 867 0095	Colony Park Development	106	0	0	16	90	0	0	0	0	0
823 867 0096	Comal Park	56	0	0	50	6	0	0	0	0	0

# Parks and Recreation 1993-94 Capital Improvements Plan (\$ in 1,000's)

Project Number	Project Name	Appropriations thru Sep-93	Auth. but Unissued Bonds	Proposed 93-94 Bond Sale	Estimated Expenses thru Sep-93	FY 1994	FY 1995	FY 1996	FY 1997	FY 1998
823 867 0701	Downs Field	119	0	0	119	0	0	0	0	0
823 867 0702	Downtown Revitalization	27	0	0	27	0	0	0	0	0
823 867 0703	Reeta Gardens	212	0	0	212	0	0	0	0	0
823 867 0705	Garmon Park	106	0	0	96	10	0	0	0	0
823 867 0715	Lucy Read School Park	56	52	52	4	52	0	0	0	0
823 867 0716	Mabel Davis Park	66	0	0	33	33	0	0	0	0
823 867 0718	Mt. Bannell	106	0	0	106	0	0	0	0	0
823 867 0719	Nature Preserves Management	231	0	0	191	40	0	0	0	0
823 867 0780	Norman School Park	84	0	0	35	49	0	0	0	0
823 867 0782	Northeast District Park	110	0	0	85	25	0	0	0	0
823 867 0783	Northwest District Park	212	123	0	89	0	123	0	0	0
823 867 0786	Old Bakery Renovation	774	0	0	774	0	0	0	0	0
823 867 0787	Onion Creek Park/Greenbelt Devel.	225	0	0	185	40	0	0	0	0
823 867 0788	Ortega School Park	112	0	0	112	0	0	0	0	0
823 867 0790	Patterson Park	106	0	0	53	53	0	0	0	0
823 867 0792	Pillow School Park	140	86	17	64	17	0	0	0	0
823 867 0793	Rebekah Barnes Johnson Park	452	294	94	58	194	0	0	0	0
823 867 0797	Sanchez School/Park	106	0	0	50	56	0	0	0	0
823 867 0798	Senior Activity Ctr Parking Addition	258	0	0	210	0	48	0	0	0
823 867 0799	Shoal Ctr/Flood Related Repairs	153	0	0	123	30	0	0	0	0
823 867 0801	Stacy Park	84	0	0	84	0	0	0	0	0
823 867 0812	Mary Moore Seagrigh Park	500	0	0	495	5	0	0	0	0
823 867 0880	Town Lake Renovation	477	0	0	287	190	0	0	0	0
823 867 0883	Walnut Creek Metro Park	615	118	0	497	0	118	0	0	0

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# **Parks and Recreation** **1993-94 Capital Improvements Plan** **(\$ in 1,000's)**

Project Number	Project Name	Appropriations thru Sep-93	Auth. but Unissued Bonds	Proposed 93-94 Bond Sale	Estimated Expenses thru Sep-93	FY 1994	FY 1995	FY 1996	FY 1997	FY 1998	Future Years
823 867 0886	Ziker Park Renovation	1,156	0	0	1,156	0	0	0	0	0	0
823 867 0894	Dougherty Art Center Fire	423	0	0	423	0	0	0	0	0	0
823 867 0898	Cook School/Park	119	117	0	2	0	0	0	0	0	0
823 867 5001	Roof Replacements - Park Facilities	190	0	0	190	0	0	0	0	0	117
823 867 5002	Road Damage Repairs	247	0	0	190	57	0	0	0	0	0
823 867 5003	Langford Park	150	0	0	75	75	0	0	0	0	0
823 867 5004	Montopolis Ballfield	97	0	0	97	0	0	0	0	0	0
823 867 5005	Dove Springs Park	1,620	0	0	900	720	0	0	0	0	0
823 867 5901	CD8G-Montopolis Practice Ballfields	58	0	0	58	0	0	0	0	0	0
823 867 5903	Mabeon Downs Field UPAAR	82	0	0	82	0	0	0	0	0	0
823 867 5904	CD8G - Butternut Branch Greenbelt	55	0	0	32	23	0	0	0	0	0
823 867 5905	CD8G - Loft Park	40	0	0	0	40	0	0	0	0	0
823 867 5906	CD8G - Keating Park	61	0	0	35	26	0	0	0	0	0
823 867 5907	CD8G - Fiesta Gardens	35	0	0	35	0	0	0	0	0	0
823 867 5908	CD8G - Alamo Park	15	0	0	15	0	0	0	0	0	0
823 867 5910	CD8G-Montopolis Practice Fields Restroom	80	0	0	60	20	0	0	0	0	0
823 867 5911	CD8G-Thorp Field Restroom	75	0	0	60	15	0	0	0	0	0
831 867 0889	Senior Activity Center - East	2,200	0	0	2,200	0	0	0	0	0	0
833 867 0173	Dick Nichols Park Expansion	457	0	0	457	0	0	0	0	0	0
833 867 0892	Dick Nichols Park Development	440	0	0	160	290	0	0	0	0	0
833 867 0896	Dick Nichols Park	339	0	0	339	47	0	0	0	0	0
833 867 0897	Dick Nichols Park Development	50	0	0	50	0	0	0	0	0	0
834 867 0596	Zachary Scott Theatre, Ph. II	3,575	0	0	2,100	1,475	0	0	0	0	0
834 867 0596	Paramount Theatre	2,000	0	0	38	49	0	0	0	0	1,913

# Parks and Recreation 1993-94 Capital Improvements Plan (\$ in 1,000's)

Project Number	Project Name	Appropriations thru Sep-93	Auth. but Unissued Bonds	Proposed 93-94 Bond Sale	Estimated Expenses thru Sep-93	FY 1994	FY 1995	FY 1996	FY 1997	FY 1998	Futur Yea 5.3%
834 867 0600	Downtown Art Museum	14,710	5,395	0	2,932	0	0	0	0	6,383	5.3%
835 947 0001	APP-Oak Hill Park Development	3	0	0	3	0	0	0	0	0	
835 947 0002	APP-Senior Activity Center East	32	0	0	32	0	0	0	0	0	
835 947 0009	APP-Fire Station #17 Replacement	8	0	0	8	0	0	0	0	0	
835 947 0010	APP-Cable Access Studio	11	0	0	11	0	0	0	0	0	
835 947 0011	APP-O. Henry Museum	1	0	0	1	0	0	0	0	0	
835 947 0012	APP-Hospital Oncology Unit	4	0	0	4	0	0	0	0	0	
848 867 0170	Accessible Adaptation - Parks	100	5,900	100	100	100	100	0	2,057	3,643	
852 867 0171	Barton Creek Bridge Underpass	120	0	0	40	80	0	0	0	0	
852 867 0174	Dove Springs Recreation Center	2,200	0	0	300	1,500	400	0	0	0	
852 867 0175	Garden Center Improvements	750	0	0	400	350	0	0	0	0	
852 867 0176	Govalle Ballfield	130	0	0	120	10	0	0	0	0	
852 867 0177	Montopole Area Sports Complex	2,657	293	293	600	2,350	0	0	0	0	
852 867 0178	Renovations to Recreation Centers	300	1,100	0	100	200	0	0	0	0	
852 867 0179	Roof Replacements - PARD	228	870	221	228	221	232	417	0	0	1,100
852 867 0180	South Austin Senior Activity Center	600	1,500	1,500	600	1,500	0	0	0	0	0
852 867 0181	Waller Creek Hike and Bike Trail	750	0	0	80	670	0	0	0	0	0
852 867 0182	Zaragoza Recreation Center	2,600	0	0	300	1,500	800	0	0	0	0
852 867 0183	Ziller Hillside Theatre Renovation	350	0	0	100	250	0	0	0	0	0
852 867 0184	Zone 1 - Land Acquisition	252	0	0	252	0	0	0	0	0	0
855 867 0172	Barton Creek Wilderness Park	1,000	19,000	0	1,000	0	0	0	0	0	19,000
872 867 0631	PLD Zone 1	51	0	0	21	30	0	0	0	0	0
872 867 0632	PLD Zone 2	89	0	0	30	59	0	0	0	0	0
872 867 0633	PLD Zone 3	36	0	0	31	5	0	0	0	0	0

# Parks and Recreation 1993-94 Capital Improvements Plan (\$ in 1,000's)

Project Number	Project Name	Appropriations thru Sep-93	Auth. but Unissued Bonds	Proposed 93-94 Bond Sale	Estimated Expenses thru Sep-93	FY 1994	FY 1995	FY 1996	FY 1997	FY 1998	Future Years
872 867 0634	PLD Zone 4	5	0	0	5	0	0	0	0	0	0
872 867 0635	PLD Zone 5	9	0	0	9	0	0	0	0	0	0
872 867 0636	PLD Zone 6	1	0	0	1	0	0	0	0	0	0
872 867 0637	PLD Zone 7	46	0	0	20	26	0	0	0	0	0
872 867 0638	PLD Zone 9	2	0	0	2	0	0	0	0	0	0
872 867 0642	PLD Zone 8	71	0	0	41	30	0	0	0	0	0
872 867 0651	PLD Zone 10	10	0	0	0	10	0	0	0	0	0
873 867 0810	Town Lake Bikeway	450	0	0	90	360	0	0	0	0	0
873 867 0813	Veloway	818	0	0	818	0	0	0	0	0	0
873 867 6000	O. Henry Museum	114	0	0	114	0	0	0	0	0	0
873 867 6001	Elisabet Ney Museum	70	0	0	70	0	0	0	0	0	0
873 867 6002	Carver Museum Repairs	90	0	0	90	0	0	0	0	0	0
873 867 6003	Auditorium Shores	130	0	0	130	65	65	65	65	65	520
873 867 6004	Emma Long Septic	65	0	0	65	0	0	0	0	0	0
873 867 6006	Roof - Northwest Rec. Cent	160	0	0	160	15	0	0	0	0	0
873 867 6007	Roof - Doris Miller Auditorium	63	0	0	63	0	0	0	0	0	0
873 867 6008	Caswell Tennis Center	37	0	0	10	27	0	0	0	0	0
873 867 6009	Krieg Complex Restroom	119	0	0	10	109	0	0	0	0	0
873 867 6010	Old Bakery Canopy Restoration	25	0	0	25	0	0	0	0	0	0
873 867 6011	Aquafest Funded Park Improvements	66	0	0	65	65	65	65	65	65	520
873 867 6013	O. Henry FY 93	15	0	0	15	0	0	0	0	0	0
882 947 0007	AIP-Interim Terminal Expansion	200	0	0	147	53	0	0	0	0	0
882 947 0016	AIP-Aviation Training Facility	3	0	0	3	0	0	0	0	0	0
891 947 0008	AIP-Convention Center	21	0	0	14	7	0	0	0	0	0

# Parks and Recreation 1993-94 Capital Improvements Plan (\$ in 1,000's)

Project Number  
New  
New  
New  
Planned  
Planned  
Planned  
Planned  
Planned  
Planned

Project Name  
Indoor Swimming Pool  
Swimming Pool Cover  
Hazardous Material Abatement  
Ziker Park Improvements  
Senior Activity Center Parking Garage  
Barton Creek Bridge  
Neighborhood Capital Account - PARD  
Ziker Playscape  
Dick Nichols Park Expansion

*approved Aug 92*

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Project Number	Project Name	Appropriations thru Sep-93	Auth. but Unissued Bonds	Proposed 93-94 Bond Sale	Estimated Expenses thru Sep-93	FY 1994	FY 1995	FY 1996	FY 1997	FY 1998
		0	0	0	0	0	0	0	0	0
		0	0	0	0	0	0	0	0	0
		0	0	0	0	0	0	0	0	0
		0	400	0	0	0	0	0	0	400
		0	600	0	0	0	0	0	0	0
		0	400	0	0	0	0	0	0	0
		0	500	200	0	200	0	0	0	400
		0	250	150	0	150	0	0	0	0
		0	500	0	0	0	0	0	0	500
<b>Total for Parks and Recreation</b>						<b>\$15,805</b>	<b>\$1,991</b>	<b>\$1,209</b>	<b>\$2,187</b>	<b>\$11,955</b>
										<b>\$37</b>





Jim Vier

## MEMORANDUM

**TO:** Parks and Recreation Board

**FROM:** Michael J. Heitz, AIA, Director  
Parks and Recreation Department

**DATE:** April 1, 1993

**SUBJECT:** Proposed Model Aircraft Flying Site in Searight Park

In early March, the Department received a joint proposal from two radio controlled model aircraft clubs to develop a flying field in the north end of Mary Moore Searight Metro Park. Each club now operates on private land and is losing its lease. A copy of their latest proposal is included as Attachment A.

### HIGHLIGHTS OF THE PROPOSAL

- o Approximately 34 acres will be needed to provide the best possible facility and to meet the safety requirements of the international Academy of Model Aeronautics (AMA), the governing association to which both local clubs belong. The attached proposal includes a map showing the location and configuration of the 34 acres.
- o Arrangements between the clubs and the City will be similar to and based upon those established for Lester Field, a model aircraft flying field in Lake Walter E. Long Metro Park. A copy of the City's agreement with the Austin Radio Control Association for development, use and maintenance of Lester Field is also included, as Attachment B.
- o Approximately 4.5 acres will require some clearing and/or grading: 1 acre for a gravel parking lot; a little over 1 acre for the flight preparation and shelter area which will be grass; and 2.3 acres for the 200' X 500' grass takeoff and landing area, a part of which may be paved in the future.
- o The remaining acreage is the overflight area, a 2000' X 700' rectangle that would require no clearing.

- o All costs related to the facility would be paid by the clubs. The facility would be secured by a locked gate at the entry road. The facility would be open to non-club members who agree to abide by the rules and safety standards set by both the clubs and the AMA.

#### OTHER CONSIDERATIONS

- o The City of Austin mounted police are also interested in the north end of Searight Park for stabling their horses. Representatives for both the mounted police and the model aircraft clubs have met, and have determined that a stable can still exist in the farthest north part of the park.
- o All clearing will be minimal since the site of the proposed airfield is an old pasture with few trees.
- o On April 1, 1993, notices were sent to 8 neighborhood associations in the vicinity of Mary Moore Searight Metro Park, describing the proposed facility and inviting comment from any interested party. A copy of one of the letters is included as Attachment C.

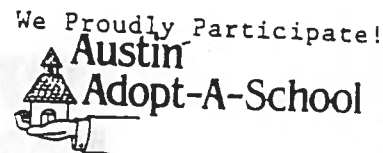
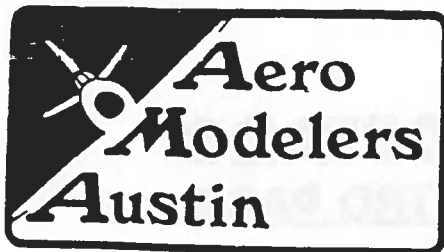
#### RECOMMENDATION

I request your approval for the Department to negotiate and execute an agreement with two model aircraft clubs (Aeromodelers of Austin and Hill Country Aeromodelers) to establish a flying field in Mary Moore Searight Metro Park.



Michael J. Heitz, AIA, Director  
Parks and Recreation Department

Attachments



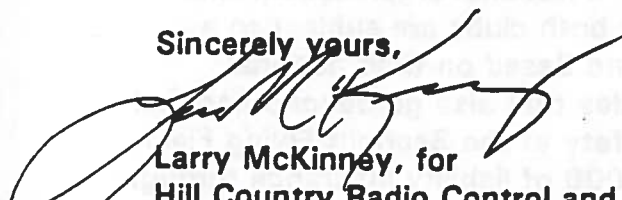
Dear Mr Strong:

The Hill Country Aeromodelers and Aeromodelers of Austin would like to request permission to develop a flying site on an undeveloped portion of Mary Moore Searight Metro Park located off Slaughter Lane in south Austin. Our organizations submitted a general proposal to the City Parks and Recreation Department for assistance in finding a flying site in early February and a specific proposal for Mary Searight Park on March 1, 1993. Both proposals provided background about our organizations, our needs, and what we had to offer. The March document provided preliminary details of what we would propose to do at the Mary Searight Park site. I have attached an additional copy of our Mary Searight proposal for consideration. You have asked for some additional details which I have provided in an attachment to this letter titled Site Development Details.

Use of our present site cannot extend beyond April 6, 1993 as it will be prepared for sale and eventual development. We were not informed of this impending action until the end of January so our time to make other plans has been short. Fortunately, the situation at Mary Searight Park would be an ideal solution to our problem and provide the basis for an excellent partnership between the City and our organizations. Because time is short I would appreciate it if this issue could be presented to the Parks Board at the earliest possible opportunity. I understand that the Board meets on April 13, 1993 and if possible we would like to have them consider the proposal at that time.

Please do hesitate to call on me for any additional information. If appropriate I plan on being at the Park Board meeting to answer any questions that might arise. Thank you for all of your assistance. I appreciate the cooperation of your staff in helping develop this idea, especially Mr. Butch Smith. I look forward to working with you on its realization. As a professional in the same field I fully appreciate the extra effort you and your staff have extended in working with us on this matter. My office number is 389-4646 and my home number is 288-4072.

Sincerely yours,



Larry McKinney, for  
Hill Country Radio Control and  
Aeromodelers of Austin

# **SITE DEVELOPMENT DETAILS**

## **MARY MOORE SEARIGHT METRO PARK**

**PARTNERSHIPS:** Both the city and the citizens of Austin interested in the sport of building and flying Radio Contrlled (R/C) modeling aircraft will benefit from working together to develop a flying site at the Mary Moore Searight Metro Park in south Austin. The city can provide a facility to meet a community need at no expense or liability. It is a easy way to meet park development needs and is environmentally sensitive because most of the flying site would remain undeveloped. Basically we are proposing to plant grass in a park, and we will not only pay for the grass we will keep it mowed!!!

This is a type of partnership that has proven to work well across the country and especially in Texas. The following Texas cities, in addition to Austin, are examples of those having entered into this type of partnership: *Midland/Odessa, San Angelo, Big Spring, Texas City, Waco, Corpus Christi, and San Antonio.*

**City of Austin:** The only commitment sought from the City of Austin to initiate this partnership is to provide an appropriate site in the Searight Park. An ideal area, noted on the attached map, has been identified. It meets all Academy of Model Aeronautics (AMA) requirements for their safety code and has ample area around it to provide an additional safety buffer without impinging on other park activities.

**Hill Country and Aeromodelers:** The two flying clubs would assume all responsibilities for developing and maintaining the site. This agreement would be similar to the arrangement that now exists at the other city park site: Lester Field in north Austin. Site development would be according to city standards and phased according to available funds. Initially a runway area, 500 ft by 200 ft, would be leveled and maintained in grass. Ultimately, the field could include a 50 ft x 500 ft paved runway to be funded and maintained by the clubs and with permission of the city.

**SAFETY AND LIABILITY:** Both local clubs, Aeromodelers of Austin (AOA) and Hill Country Radio Control (HCRC) are chartered by a national organization, the Academy of Model Aeronautics (AMA). As a result both clubs are subject to a strict set of safety codes developed by the AMA and based on their national experience. Both clubs have bylaws and safety codes that also go beyond national requirements and would modify those to assure safety at the Searight Flying Field. In addition, we would insure the city with \$1,000,000 of liability insurance through the AMA. The City of Austin is currently covered by this insurance at two sites: Lester Field and Festival Beach. The latter is a flying site for floatplanes and was approved for use last year. It has no land based capabilities. R/C flying has taken place at the two Austin sites and the two private sites for a combined total of 32 years without a single insurance claim!

**SITE REQUIREMENTS AND MODIFICATIONS:** It will require about 34 acres to provide for the best possible facility and meet the safety requirements of the international Academy of Model Aeronautics (AMA), the governing association to which both local clubs belong. Very little modification of the site will be required to make it acceptable for use as a flying field. The flying site would require:

**A grass takeoff and landing area of 500 ft x 200 ft. - 2.3 acres**

The takeoff and landing area ( 2.3 acres) will require only minimal grading and leveling and no clearing as the proposed site is an already existing open field (originally a pasture). Immediately upon leveling the field will be seeded with grass. Some additional topsoil may be required but no change in grade would result as such additional material would be minimal. Once established the grass will be maintained by cutting and rolling (to the appearance much like that of a golf fairway) to a short enough height to allow flight operations.

The alignment and leveling of the takeoff and landing area will not alter or impede drainage in the area. The eastern edge of the 200 ft by 500 ft grass area will parallel the only existing and identifiable drainage course.

**Over flight area (including the field ) of 2000 ft x 700 ft. - 32 acres**

The overflight area of 32 acres ( includes the takeoff and landing area) would provide the necessary area for safe flying. The orientation of the rectangular area (2000 ft by 700 ft) positioned as proposed would preclude any flying over existing or planned developments to the south, east, and west. The proposed pasture and stable for police horses north of the site will present no problems for either activity. The only portion of that area that would be overflowed would be a pasture and any proposed stables would not be in the overflight area. One of our previous sites (now a Home Depot) was adjacent to a horse pasture for ten years without any problems and without disturbing either animals or flyers! The only clearing of the overflight area would be immediately adjacent to the north and south ends of the 200 ft by 500 ft grass field. An existing temporary haul road intersecting the south end of the takeoff and landing area provides a clear area and minimizes clearing there. The north end would require the removal only of scattered secondary growth cedar. All required clearing would entail only regrowth cedar brush (1981 aerial photos shows this area was once a cleared and contoured pasture) of diameters less than 2 inches. No oaks or other hardwoods would have to be cleared. Texas Parks and Wildlife biologists have assessed the area and there would be minimal loss of habitat value and no endangered species concerns under this development proposal.

### **Flight preparation and Parking Area - 2 acres**

The flight preparation and shelter area (1 acre) will be grass and require only minor leveling if any at all. Our need is for an open area immediately adjacent to the flying field where members assemble models and prepare them for flight. The shelter would be an open three sided structure approximately 20 ft by 20 ft to provide shade, temporary storage of radios, etc. No permanent storage on the site is planned. Port-o-Let toilets will be provided and maintained on site by the club. A parking area (1 acre) composed of crushed limestone base material will be provided to accommodate an estimated maximum of 20 cars (weekends) and 2 to 5 cars at other times. Access to the site would be controlled through a locked gate. An existing screen of trees between the site and the road will hide it from view. No clearing would be necessary to prepare this area other than minor leveling and rolling.

**TYPICAL ACTIVITIES:** The membership of the two clubs has averaged between 120 and 200 members over the last 5 years. Age range is between 12 and 82 and the average age falls between 35 and 40. Our members come from all walks of life: from engineers at Motorola to physicists at the University of Texas, to biologists at Texas Parks and Wildlife. We have many retired members and about 25% of our registered membership participates through family memberships. On the whole we are a pretty good cross-section of Austin.

On a typical weekend from 15 to 20 members would be present at the field from about noon to late afternoon. Rules allow only 4 models in the air at a time. All models are required to have mufflers and with the position of the field flying models would be difficult to discern from auto noises in the northern end of the park even when one was flying at the southern-most edge of the overflight area. Park users in the southern end of the park (ball fields and trail users) would not hear them. Vehicles passing the site on the road would likely not notice them as the site is hidden both visually and audibly by the screen of existing trees between the field and the road.

Special events like Adopt-a-School (please see original proposal for details) would bring from 40 to 60 grade school students to the field twice a year for a field trip and demonstrations. An annual club meet would likely attract 100 or so flyers from around the state for a weekend event.

**CONCLUSION:** Presently there is only one site in Austin where local citizens can pursue their sport of flying radio controlled (R/C) model aircraft. That site is Lester Field, adjacent to and north of Decker Lake. There is no equivalent site in south Austin where there is a growing participation in this sport. Currently there are two clubs sponsoring these activities and each has a flying site. The two existing sites

are on private lands and access to them will be lost by this summer. One site is in the process of being sold and the other will soon be developed as a subdivision.

The proposed partnership is an excellent example of the city and citizens working together to meet a community need. As stated initially we are proposing to:

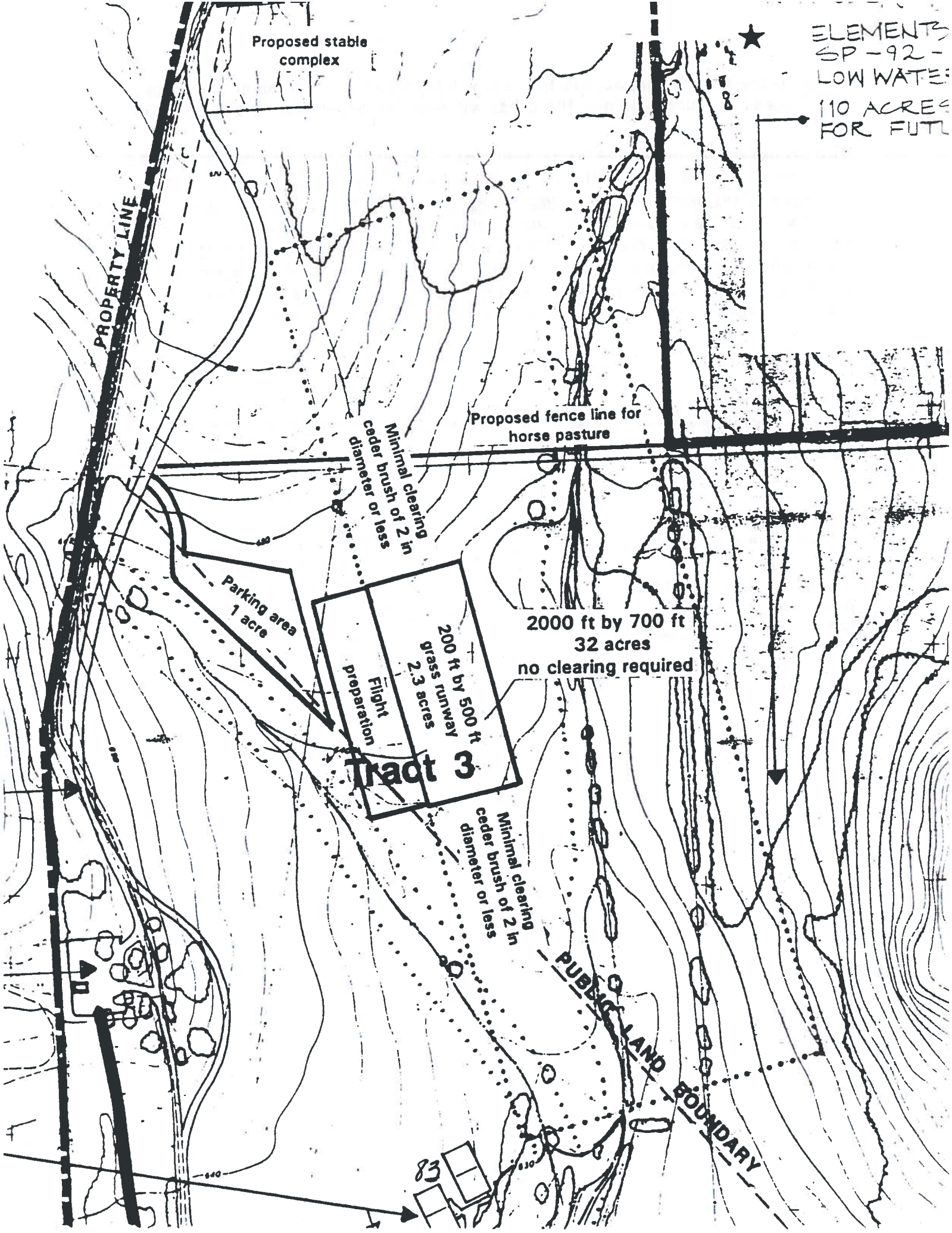
**Basically plant grass in a park, and we will pay for the grass and keep it mowed!!!**

The two organizations are ready and willing to move forward as quickly as possible to make this project a reality. As of April 6, 1993 we will have no flying site so we are asking consideration as soon as possible so we can resume our sport. If any additional information is needed do not hesitate to call on the individuals listed on the next page for answers. Thank you for your time and consideration of this proposal.

**Please contact either of the following individuals for additional information**

Aeromodelers of Austin  
Larry McKinney  
14020 N. Green Hills Loop  
Austin, Texas 78737  
(512) 389-4636 or 288-4072

Hill Country Radio Control  
Ralph de Clairmont  
2401 Toulouse Drive  
Austin, Texas 78748  
(512) 282-2100



Proposed stable complex

ELEMENTS  
SP-92-  
LOW WATER:  
110 ACRES  
FOR FUTURE

PROPERTY LINE

Minimal clearing of  
cedar brush of 2 in  
diameter or less

Proposed fence line for  
horse pasture

Parking area  
1 acre

Flight  
preparation

Tract 3

200 ft by 500 ft  
grass runway  
2.3 acres

2000 ft by 700 ft  
32 acres  
no clearing required

Minimal clearing  
cedar brush of 2 in  
diameter or less

PUBLIC LAND  
BOUNDARY

83

THE STATE OF TEXAS

COUNTY OF TRAVIS

I  
I  
I

This Agreement, made and entered into this 7th day of December, 1978, by and between the City of Austin, Texas, a municipal corporation organized and existing under the laws of the State of Texas, hereinafter called City, acting by and through Dan H. Davidson, City Manager, thereunto duly authorized so to do, and the Austin Radio Control Association, a non-profit organization, formed to promote the sport of flying radio controlled model aircraft, hereinafter called the Association, acting by and through Charles H. Neuenschwander, President, thereunto duly authorized so to do:

WHEREAS, the City of Austin desires for a portion of Walter E. Long Metropolitan Park, hereinafter sometimes referred to as "Park", to be developed for use as a radio controlled model aircraft flying field; and

WHEREAS, the City of Austin desires to allow the Austin Radio Control Association to make those improvements; and,

WHEREAS, the City and the club desire for the club's development and use of that portion of the Park to be governed by written agreement; and,

WHEREAS, it is in no way the intent of the parties that this agreement be a lease or other alienation of the Park premises; and

WHEREAS, the City of Austin specifically retains the ability to regulate the hours and days of operation of the facilities as well as the fees to be charged for the use of the facility to the general public; and

WHEREAS, the parties desire to insure that the general public shall have continued access to the premises for their use and enjoyment; Now, Therefore,

WITNESSETH: That for and in consideration of the mutual promises herein-after set forth and the benefits to be received, the parties hereto covenant and agree as follows:

I.

The City shall allow the Association to develop and use an approximately thirty (30) acre tract of land, near the northwest corner of Walter E. Long Metropolitan Park, exact location to be specified by the Austin Parks and Recreation Department, for the purpose of flying radio controlled model aircraft.

II.

The Association agrees to pay all costs related to the construction, maintenance, and management of a radio control flying field. Any indebtedness accrued in relation to the development, maintenance, or management of the flying field shall be the liability of the Association, and the Association will hold the City free and clear of any claims arising therefrom. Field improvements shall include a paved runway and ramp area, spectator fence, rest rooms, parking lot, road and associated support facilities. The parking lot and road will be surrounded by a vehicle barrier consisting of posts and stranded cable, to prevent unauthorized access to other parts of the park. The Association agrees to install a gate at Lindell Lane, which will remain closed and locked at all times the field is not in use. All improvements must be approved by the Director of Parks and Recreation.

III.

Subject to approval by the City Council the flying field will be operated according to rules and safety standards established by both the Association and the Academy of Model Aeronautics, a national organization governing sporting model aviation in the United States, hereinafter called AMA. Use of the field will be limited to members of the Association, who must also hold a current AMA license.

Non-members holding a current AMA license may use the flying field subject to the payment of a fee to be set by the Director of Parks and Recreation, with the approval of the City Council of the City. Non-members must also agree to abide by the rules and safety standards set by both the Association and AMA. Out-of-town or transient flyers, holding a current AMA license, may use the flying field as the guest of a member, at no cost, unless an entry fee is specified for a contest or other special event. The flying field shall be open on weekdays for three (3) hours prior to sunset, and from noon until sunset on weekends, weather conditions permitting.

#### IV.

Membership in the Association shall be open to the general public. Each member must hold a current AMA license, and pay all fees established by the Association, subject to approval by the Director of Parks and Recreation.

#### V.

The Association agrees to maintain its status as an AMA chartered club and the failure of the Association to so do shall constitute grounds for termination of this agreement.

#### VI.

The Association agrees to procure and thereafter keep in full force and effect before commencing operation, a public liability and property damage insurance policy in the amount of \$1,000,000, which shall insure the City of Austin as well as the Association. Members of the Association shall in no way be deemed to be employees of the City of Austin by virtue of their working at the premises in question.

VII.

If at any time the City of Austin should determine that the operations in question are found to be unsafe, the City Manager of the City of Austin may direct that the operations cease immediately and not resume until such time that the Association can assure the City of Austin that the said operations are being operated in a safe manner.

VIII.

This agreement may not be assigned, either in part or in whole, by a party hereto without the written consent of the other party. Should the Association disband, dissolve or become inactive, this agreement shall become void and all rights and privileges affected hereby shall revert to the City, and any improvements on the grounds made by the Association shall become the property of the City or at the discretion of the City the area shall be restored to its condition at the time of this agreement at the expense of the Association. At any time the City may assume operation of the facility as long as the same or similar degree of availability of usage of the facility is maintained.

IX.

This agreement shall be for an indefinite period of time. If the agreement is terminated by the City with cause, the City agrees to furnish written notice to the Association 180 days prior to the effective date of the termination of the agreement. If the agreement is terminated by the City without cause, the City agrees to provide a one year written notice.

IN WITNESS WHEREOF, the parties to these presents have executed this Agreement in the year and day first written.



ATTACHMENT C

# City of Austin

Founded by Congress, Republic of Texas, 1839

Municipal Building, Eighth at Colorado, P.O. Box 1088, Austin, Texas 78767 Telephone 512/499-2000

March 30, 1993

Ms. Cindy Amezquita  
Texas Oaks Neighborhood Association  
717 Shade Tree Drive  
Austin, Texas 78748

Dear Neighborhood Association:

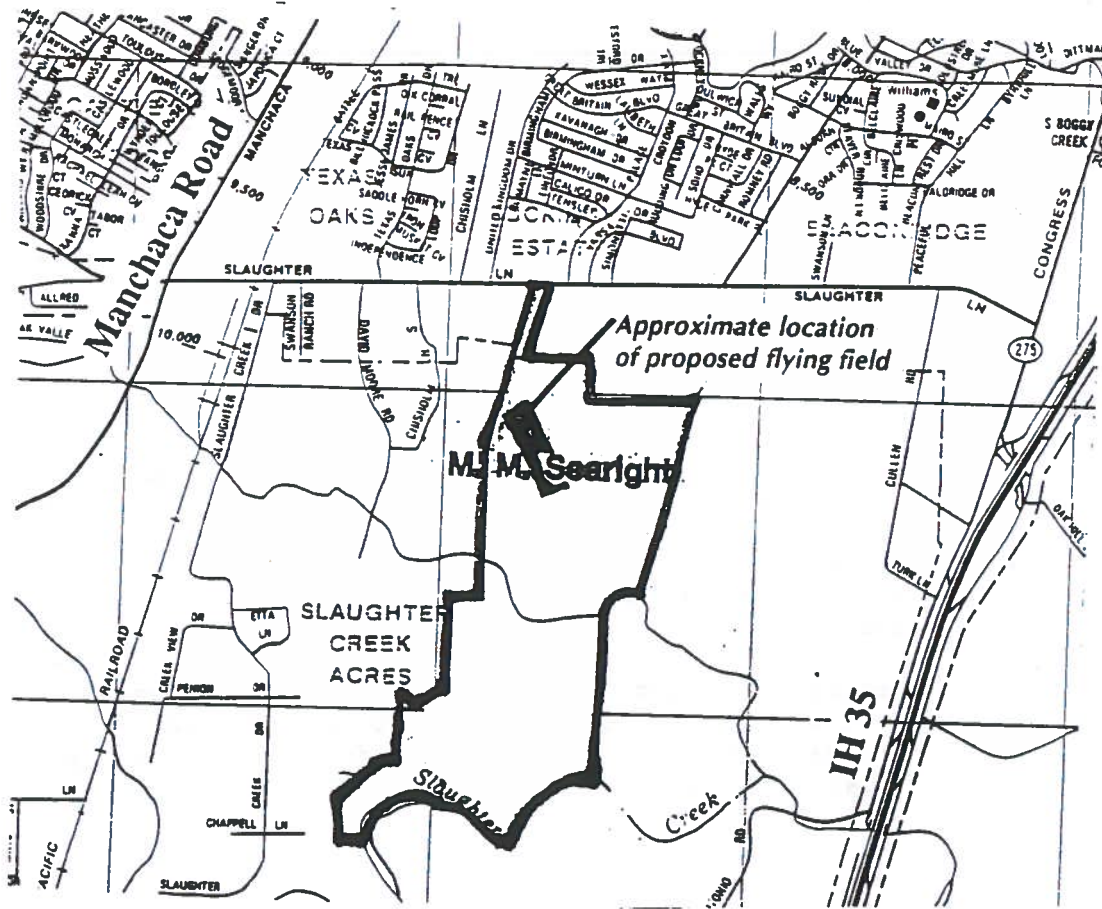
On Tuesday, April 13, 1993, the Parks and Recreation Board will review a request by two model aircraft clubs to develop a new flying field in the north end of Mary Moore Searight Metro Park, located as shown on the back of this letter. Should any of your membership wish to comment on this proposed use of approximately 34 acres of the new park, please plan to attend.

The Board meeting will begin at 6:30pm at the Pan Am Recreation Center, located at 2100 E. 3rd Street, just east of downtown and Interstate Highway 35 as shown on the back. Should you have questions, please call Sarah Campbell at 499-6765.

Sincerely,

Michael J. Heitz, AIA, Director  
Parks and Recreation Department

*Location of Mary Moore Searight Metro Park*



### *Location of Pan Am Recreation Center*





MEMORANDUM

TO: Parks and Recreation Board

FROM: Michael J. Heitz, AIA, Director  
Parks and Recreation Department

DATE: April 7, 1993

SUBJECT: Budget Amendment

The City Council is scheduled to consider acceptance of \$19,720 from Work/Family Development Corporation at their meeting April 22nd to enhance the summer camp programs at the Austin Nature Center. Funds will be used to hire additional staff for the specialized science curriculum and to purchase science equipment for the children's use.

Work/Family Directions Development Corporation, of Boston, Massachusetts, is a non-profit corporation that seeks to create additional and enhanced child and elder care offerings for major employers. Motorola, IBM and Seton Hospital have contracted with Work/Family Directions Development Corporation to review summer camp programs in the greater Austin area.

Work/Family Directions recommended the Austin Nature Center program and is contracting with the Parks and Recreation Department to reserve 10 slots weekly, for ten weeks, for 4 Motorola, 4 IBM, and 2 Seton Hospital employees' children, aged 5-12, in exchange for funds to improve the quality of the summer camp programming for all enrollees. The children will be responsible for their own registration fee and any slot not filled by the employees' children will be offered to the public.

Acceptance of the funds will allow the Austin Nature Center to expand the topic areas of study in each camp session, train instructors in science curriculum, offer before and after camp care, and serve approximately 100 more school age children.

I recommend acceptance of the funds.

  
Michael J. Heitz, AIA, Director  
Parks and Recreation Department

MJH:AD:ad



## MEMORANDUM

**TO:** Parks and Recreation Board

**FROM:** Michael J. Heitz, AIA, Director  
Parks and Recreation Department

**DATE:** April 7, 1993

**SUBJECT:** Agreement with Friends of the Parks for Improvements  
To Zilker Playscape

I have the following information regarding a proposed agreement with the Friends of the Parks for improvements to the Zilker Park playground area.

In the mid-1980's, a number of components of the Zilker Park playground were removed due to aging and safety hazards. Because this happened during a period of major budget cuts, and because Zilker is probably the most popular playground in the City, the Zilker Playscape Committee was formed soon thereafter to raise funds to rebuild and reinstate the playground. The Committee operates as a sub-committee of Friends of the Parks, through which all funds are funneled for non-profit status purposes.

Over time and in conjunction with PARD, the Committee has made about \$75,000 worth of improvements to the playground. Currently, the Committee has raised more funds and is ready to make several more improvements to finish the project within the next year or two. Both the Committee and PARD desire to formalize their relationship and to spell out the responsibilities of each for the remainder of the construction period.

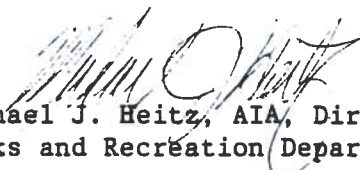
The agreement will be with the Friends of the Parks, and will allow the Committee to make certain improvements within a specific area of the existing Zilker Park playground area. The Committee will be responsible for all design, engineering, construction and general contracting for the remaining new and refurbished playground components, and for reasonable insurance to carry out these responsibilities.

PARD will have authority to review and approve all designs and plans for the improvements prior to construction, will interface with other City Departments as required, and will provide staff to act as Project Manager to oversee construction. The Committee's general contractor will report to the Project Manager. The Committee will reimburse PARD for staff Project Management time.

The term of the agreement will be for one year with an option to renew for one year, at the Committee's request. The Committee would like to finish the project as soon as possible.

At this time, the Committee estimates the value of the improvements to be made under this proposed agreement at \$250,000. Upon completion of the project, the Committee will have made a gift to the City of approximately \$325,000.

I recommend your approval of the negotiation and execution of such an agreement.



Michael J. Heitz, AIA, Director  
Parks and Recreation Department

**PARKS AND RECREATION BOARD  
GOALS 1993**

**CONCESSION COMMITTEE:** James Crump, Chair; Erma Linda Cruz-Torres, Eliza May

GOAL	PERSON (S) RESPONSIBLE	COMPLETION DATE	STATUS
1. Study train concession.	Crump	12/94	Review of concession will occur as contract expires, according to Concession Policy
2. Refine concession policy and submit to Austin City Council for adoption.	Committee	3/17/93	Completed. Council adopted Concession Policy on 3/17/93.

**LAND AND FACILITIES COMMITTEE:** Eleanor McKinney, Chair; James Crump, Erma Linda Cruz-Torres, Beverly Griffith

GOAL	PERSON (S) RESPONSIBLE	COMPLETION DATE	STATUS
1. Develop policy for public access for the Barton Creek Greenbelt.	Crump, Griffith	4/13/93	Policy under development to be reviewed by Parks Board on 4/27/93.
2. Develop master plan for Bull Creek Greenbelt for connectivity of park acquisitions.	Crump	July 1993	Acquisition of 151 acre tract completed. Master plan in progress.

3. Implement project review process through all phases. Status on all projects in process monthly or quarterly.	McKinney	9/93	Completed with adoption of project review process. Progress on individual projects is documented on large chart in lobby of Main Office.
4. Advocate for regular use of Community Development Block Grants (CDBG) funding for parks projects.	Griffith	On-going (annual CDBG approval by Council)	Joint meeting with Community Development Board requested. Review by Land and Facilities Committee to determine deliverable for goal.
5. Follow status of all facilities and land acquisition projects approved by voters in the bond election, utilizing CDBG funds where appropriate.	Cruz-Torres, Griffith	On-going, 12/93	% of bond \$ expended.
6. Develop master plan for Colorado River Park.	Crump, Cruz-Torres, McKinney	12/93	Master plan is in progress.
7. Represent Board on Zilker Park Task Force.	McKinney	12/93	Task Force is being formed.

NAVIGATION COMMITTEE: Ron Cartlidge, Chair; James Crump, Louise Nivison (Member Emeritus)

GOAL	PERSON (S) RESPONSIBLE	COMPLETION DATE	STATUS
1. Monitor the number of watercraft on Town Lake in order to have information for planning and to prevent overcrowding.	Cartlidge	12/93	50% Completion.
2. Identify safety hazards and work to remove them by monitoring with Park Police Lake Patrol, and develop a policy for safety hazard removal on Town Lake, Lake Austin, and Lake Walter E. Long (Decker Lake).	Cartlidge, Crump	Ongoing. Policy re: Lake Walter E. Long to be presented 4/13/93. 8/93 for full policy. 12/93 for monitoring.	65% completed.
3. Study the need for additional public access on Lake Austin.	Cartlidge, Crump	Completed.	Assessment completed and recommendation made for jet ski dock at Walsh Boat Landing. Project to be funded in 1993-94.

4. Stress continued decrease of gasoline-powered engines on Twon Lake and monitor the use of power boats on the Lake. Request electric motors to be used when possible.	Cartlidge, Crump	Completed.	Completed with Board resolution. Director will monitor use of power boats through waiver procedure.
5. Decrease the number of waivers issued for the use of gasoline-powered boats on Town Lake. Benchmark established in 1991-92 with monitoring to continue in 1992-93.	Cartlidge, Crump, Nivison	12/93	Policy completed. On-going monitoring to be completed by 12/93.

PROGRAM COMMITTEE: Albert Black, Chair; James Crump, Erma Linda Cruz-Torres, Eliza May

GOAL	PERSON (S) RESPONSIBLE	COMPLETION DATE	STATUS
1. Increase the volunteer workforce by 15% in PARD-related activities in Cultural Affairs and Programs Division.	Cruz-Torres	12/93	? volunteer increase over previous year.
2. Increase annually by 15% the number of youth utilizing PARD programs.	Crump	12/93	# of youth compared to previous year.

3. Advocate for increased funding in operating budget to increase participation by 15%.	Crump	10/93	Development of proposal for enhancements is underway.
4. Assist the Department in obtaining a high-level working relationship with state, county, local school districts, non-profit groups and other agencies.	Black	12/93	20% completion. Peak activity will be during summer and fall.
5. Utilize public information contacts to promote all Cultural Affairs and Programs Division activities.	May	12/93	Ongoing. 10% complete. Summer and Fall will be peak periods.
6. Improve Board attendance at PARD-related activities to show Board representation and support.	Cruz-Torres	12/93	50% complete. Scheduling Board members to attend events according to PARD calendar is ongoing.
7. Use innovative activities and alternative sports to challenge youth through PARD's Adventure Programs and the Austin Nature Center.	Crump	12/94	Review of current offerings and development of list of program enhancements is underway.
8. Support "Rites of Passage" programs.	May	4/27/93	Review of programs close to completion. Will bring to Board for action in 4/93.

Park & Rec. Board  
200 S. Lamar  
Austin, TX 78704

Mar. 23, 1993

Dear Board Members:

Please take into consideration the fact that residents of Oak Hill & surrounding areas have no place to swim. The closest public pool to our area is Harrison which is about a 15 minute trip from this area & it is very overcrowded most of the time during the summer. A pool at Dick Nichols Park will take care of our needs.

With the sale of the \$500,000 in bonds the full amount of money will be available for a pool.

Oak Hill has about 35,000 residents & no pool. We are being overlooked. Please help us get a pool at Dick Nichols.

Sincerely,

Ed & Carol LaFay

7603 Bonpass Ln.

Austin, TX 78736

March 29, 1993

Austin City Council  
P O BOX 1088  
Austin TX 78767-8804


&

Austin Parks Board  
200 S Lamar  
Austin TX 78704

Dear Sirs,

Please take time to read and act upon this simple request from a taxpaying family. For the past six-plus years we have lived at the same address in the Village of Western Oaks. One of our principal reasons for our choice of residence was the prospect of a neighborhood park complete with swimming pool and other amenities. To date, our hard earned money and taxes have resulted in zero development. Speaking for our family, I ask you to expedite the construction of a neighborhood pool in the Dick Nichols park. Your actions should reflect our needs, requests, and input; please act on this measure before it is too late. Some of you may not have an opportunity to vote on this measure; nevertheless, your input and actions will be on record. Thank you.

Sincerely,

  
Ignacio E Alvarez  
7606 Hawkeye Dr  
Austin TX 78749-2814

Family members: Spouse-Guadalupe, Daughter-Denise(21), Son-Albert(18)

March 29, 1993

Austin Parks Board  
200 S. Lamar Blvd.  
Austin, TX 78704

RE: Dick Nichols Park Swimming Pool

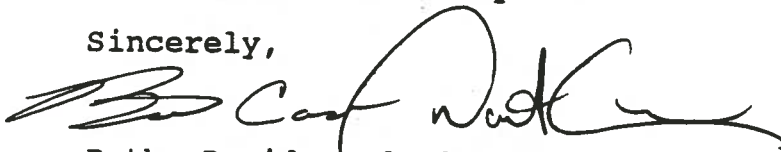
Dear Board Members:

We are residents of the Oak Hill area, specifically the Village at Western Oaks. We are writing to request your support in issuing bonds to build a swimming pool in the new Dick Nichols Park. Southwest Austin is a very populated area with many children who have no place to swim, unless they're fortunate to live in an area with a homeowners association that provides a private pool. It breaks our hearts to see children stand outside the gates of private pool facilities wishing they could enjoy the same luxury. Their only options are Garrison Park or Dittmar Park which are both overcrowded and too far from our area of town.

Oak Hill is long overdue for services such as this. Our area is populated with middle to upper middle class families who have to "pull teeth" to get public facilities that the rest of Austin is privileged to have.

We would appreciate your support in our effort to get this swimming pool. By doing so, you would be telling the children that they matter.

Sincerely,



Beth, David, and Adam Case  
8006 Bounty Trail, Austin 78749

cc: Austin City Council Members

7938 Wheel Rim Circle  
Austin, TX 78749

April 2, 1993

City of Austin  
Parks and Recreation Board  
200 South Lamar Blvd.  
Austin, TX 78704

Dear Board Members,

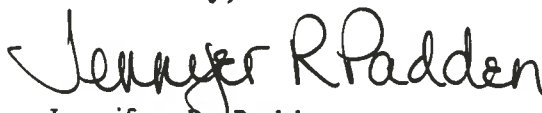
As a child growing up in Austin I remember spending summer days with my friends at Bartholomew Park swimming pool. They were fun-filled lazy days listening to my friend's latest boyfriend crushes and the latest hits on KNOW radio. (For one summer we were even fortunate enough to have city sponsored park dances at Bartholomew which were also filled with a lot of fun and memories.) I'm asking you to allow my children to have some of the same kind of fun-filled memories from a pool built at Dick Nichols Park in Oak Hill.

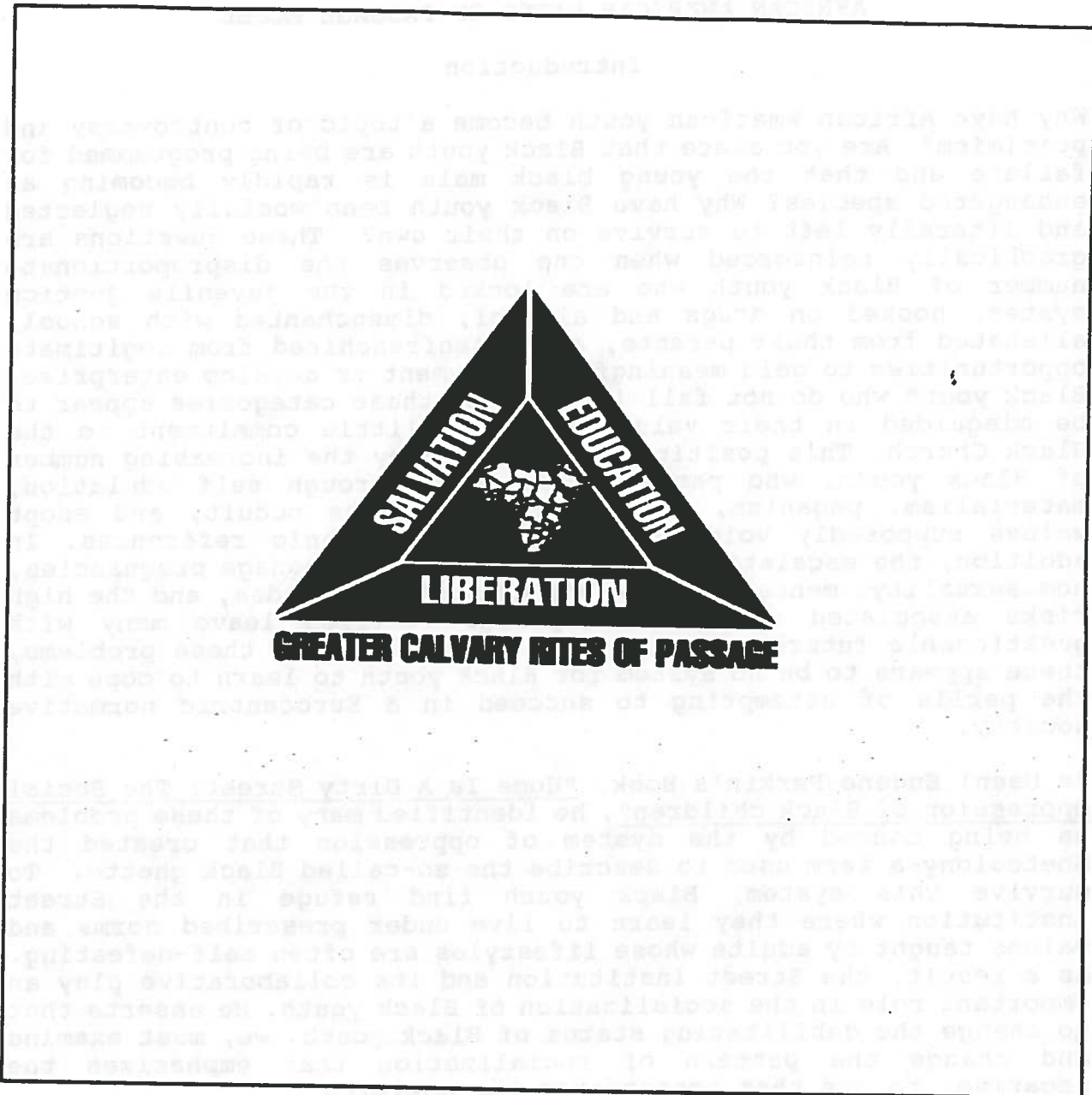
The closest pool to my neighborhood now is over six miles away at Garrison Park. It is not very convenient to get there through all the construction on Manchaca or Ben White Blvd. and it is a very crowded pool in the summer. It is within your authority to recommend a pool for Dick Nichols Park which would be only a mile from my neighborhood and easily accessible through neighborhood streets.

A pool at Dick Nichols Park would also improve the desirability of this area of town. By making this a desirable part of town and encouraging more residents, the tax base would improve for the city. With \$500,000 in bonds already approved it would be nice to have the improved tax base to support the pay-off of those bonds.

It would take only an encouraging word from your board to the planning commission to help our dream become a reality. Please help us build a pool at Dick Nichols Park in Oak Hill.

Yours truly,

  
Jennifer R. Padden



## AFRICAN AMERICAN RITES OF PASSAGE MODEL

### Introduction

Why have African American youth become a topic of controversy and pessimism? Are you aware that Black youth are being programmed for failure and that the young black male is rapidly becoming an endangered species? Why have Black youth been woefully neglected and literally left to survive on their own? These questions are graphically reinforced when one observes the disproportionate number of Black youth who are locked in the juvenile justice system, hooked on drugs and alcohol, disenchanted with school, alienated from their parents, and disenfranchised from legitimate opportunities to gain meaningful employment or develop enterprise. Black youth who do not fall into any of these categories appear to be misguided in their values and show little commitment to the Black Church. This position is evidenced by the increasing number of Black youth, who pamper their egos through self adulation, materialism, paganism, cultic practices, the occult, and adopt values supposedly void of any racial or ethnic references. In addition, the escalation among Black youth in teenage pregnancies, homosexuality, mental illness and homicides/suicides, and the high risks associated with single parent families leave many with questionable futures. Finally, to compound all of these problems, there appears to be no system for Black youth to learn to cope with the perils of attempting to succeed in a Eurocentric normative society.

In Useni Eugene Perkin's Book, "Home Is A Dirty Street: The Social Oppression of Black children", he identified many of these problems as being caused by the system of oppression that created the Ghetcolony-a term used to describe the so-called Black ghetto. To survive this system, Black youth find refuge in the Street Institution where they learn to live under prescribed norms and values taught by adults whose lifestyles are often self-defeating. As a result, the Street Institution and its collaborative play an important role in the socialization of Black youth. He asserts that to change the debilitating status of Black youth, we, must examine and change the pattern of socialization that emphasizes the negative, to one that accentuates the positive.

The Rites Of Passage model provides preventive solutions to the systematic causes that impair the positive transition of Black youth to responsible adults. More specifically, it provides for cultivation of a proactive model that can provide future generations of Black youth with a greater opportunity to achieve their true potential. This model is basic and declares that a man must first be saved; The saved man must be taught the truth; When a saved man knows the truth, he can not be enslaved by circumstance, situation, or condition. We are committed to the socialization of Black youth through an Afrocentric "Rites Of Passage" based on the Biblical principles of Salvation, Education, and Liberation. The implementation and application of this model can result in a new sense of community and a commitment among African American



## Problem

Today, we have less effective control over the process of child-rearing, education, and socialization of our youth than ever before. Our youth are exposed to the full impact of racism during adolescence, the formative years, greatly reducing the chance of their becoming winners as adults-a vicious cycle. It is during adolescence when a disproportionate number of our young men become entrenched in the Juvenile Justice System, become hooked on drugs, drop out of school, rebel against authority, exhibit self-defeating behavior, show disrespect to their elders and display mannerisms that are often repugnant and repulsive. Is there a conspiracy against the African American male?

The following alarming statistics support the urgency<sup>4</sup> of our mission:

1. African-American males are disproportionately placed in lower track classes, special education, remedial programs, and suspension. Constituting only 8.5 percent of the public school population, they represent 36 percent of special education students and 37 percent of all students suspended nationally.
2. African-American males in our public schools are under achieving.
3. There are approximately 609,000 African-American men in prisons yet there are only approximately 436,000 of our African American men in colleges.
4. It is projected that in less than ten years, 70 percent of African-American males will be unavailable to African-American women.
5. Nationally, only 38 percent of African-American children have the father present in the home.
6. Studies indicate that teachers have higher expectations for our females, calling on them more in class, and giving them more feedback in general than our young men.
7. African-American male teachers represent less than 5 percent of the teachers at the primary level.

The implications of these realities are far reaching and demand action now. Only active participation in the solution can begin to save our youth from extinction.

Any group which fails to define consciously and systematically the limits or boundaries in which these processes occur increases the vulnerability of its young, promotes discontinuity, and worse, sets the stage for extinction. This loss results in the first generation without long blood ties to the African-American church or to the ancestral south. The boys are the first to Suffer the debili-

tating effects of being integrated into the life, values and norms of Eurocentric America.

There exist among mankind a need to validate maleness or manhood. This need is supposedly satisfied through social connections, attachments, worth, recognition, respect, and legitimacy. If such a need cannot be satisfied through formal institutions (jobs and social status), youth will seek other alternatives to compensate for denial and exclusion.

## Solution

In order to develop the adult prototype who can be expected to effectively function as a responsible provider, mate, and protector, it is necessary to develop and institutionalize processes for successful transition from childhood to adulthood. The ideal system/process for the development and passage of African-American youth into adulthood involves the creation of our own institutions and environments to facilitate the process.

1. **SEPARATION OF CHILD FROM THE COMMUNITY AND ROUTINES OF DAILY LIFE.** Separation has deep spiritual meaning prevents distractions.
2. **OBSERVANCE OF NATURE.** The program is based on universal principles of life - exposure to nature allows the GOD of creation to become the teacher.
3. **PEERSHIP, AGE MATES, A SOCIAL PROCESS BASED ON AGE.** Rites of Passage education is a social process conducted in groups as opposed to emphasis on individualism. All children are expected to master all requirements from the beginning to end as a group.
4. **REJECTION OF CHILDHOOD.** Remember when Paul said, "When I became a man, I put away childish things." Passage involves a ceremonial shift; everyone knows it is time to quit playing and be serious.
5. **LISTENING TO THE ELDERS.** The most significant education is conducted by the elders because they are the people who have been around long enough to have wisdom. Wisdom is more than knowledge. Our youth need to be exposed to wisdom, and that does not necessarily mean academic degrees. There is a big difference between learned degrees and wisdom. Elders play a major role in education and socialization of children in traditional African society.
6. **PERSONAL COMMITMENT.**
7. **TEST OF CHARACTER BY DEMONSTRATIONS OF COURAGE, LOYALTY, COMMITMENT, AND PERSISTENCE.**
8. **USE OF SPECIAL LANGUAGE.** New vocabulary, set of sounds, symbols, use of special names that are symbolic of certain types of characteristics, symbols or names that have special meaning and follow-up are used.
9. **SYMBOLIC RESURRECTION.** Upon completion of processes, it is necessary to demonstrate what has happened that says "I am now of age in the community."
10. **REINCORPORATION OF THE COMMUNITY.** Nothing in these principles keeps youth from mastering modern technology or from learning about other people in the world. In fact, these principles cast education in a more practical light, helping the whole community go beyond minimum requirements of mass education and employment education.
11. **MODELING.** We are not true role models for our youth until we consciously order our lives so that our lives serve the function of role models.
12. **OPPORTUNITIES TO DEMONSTRATE RESPECT FOR OUR YOUTH.** An environment is created for our youth where every child can

experience our unconditional respect. Unconditional respect means we listen to them, observe them closely, and communicate with them.

13. **AN EDUCATIONAL AND SOCIALIZATION PROCESS IN OUR COMMUNITY THAT REQUIRES RESPONSIBILITY OF YOUTH.** An environment is created for youth to learn to be responsible by being held accountable for real things.

14. **ENVIRONMENT OF LOVE.** This environment is fostered while the youth are struggling to become respectable adults in society.

### The Rites Of Passage Model

In June 1992, an African American Rites of Passage Program was implemented here at Greater Calvary Baptist Church in Austin, Texas. Actual program design started in January, 1990, with various trial runs through 1991 and start up in June 1992. The program for youth functions as a guidance system through which African-American adults speak to African American youth about the fundamentals of life and living victoriously. This program is not limited to denominational or Church affiliation and with revision to the cultural and ethnic sections could be used by other racial groups to produce positive results. In the Greater Calvary model the youth are taught and trained to understand their definition, purpose, principle, direction, procedure, preparation and practice - Rites of Passage.

Definition: Simply stated, rites of passage is a commonly agreed upon set of guidelines, activities, tasks, and trials which each youth must successfully master in order to earn the society-sanctioned title "adult (man/woman)." The manifestation of these practices will have immeasurable effect in reducing, or at least minimizing, current destructive forces to which the African-American youth and, subsequently, adult is exposed. This belief is rooted in the understanding that such practices will have their basis in objective reality. They will contribute to the importance and implications of rearing children in a hostile environment, these practices also provide youth with better resources and tools with which to minimize the forces that would destroy them and at the same time allow them access to the fullness of humanity.

One of the fundamental ways human groups ensure continuity and continuation of their culture over time is to socialize the young in manners of feeling, thinking, believing, and behaving so that they become productive, proficient beings.

The program emphasizes the needs of the African American male and female with a focus on the specific needs of the African American male. The model acknowledges that if the African-American male is removed from the social, political, economic, and spiritual fabric of America, simultaneously the African-American female is doomed. Thus, the African-American male must be saved first if we are to save the African American race.

The starting age for the Rites Of Passage Program is 6 years. The Brothers and Sisters will remain in the program until they complete the 12th grade.

The Participants must agree:

1. To stay in school until graduation.
2. To complete and turn in all public school homework assignments.
3. To work diligently to attain and maintain an "A" average.
4. To settle all disputes nonviolently and not participate in class or school disruption.
5. To attend church on a regular basis.
6. To do volunteer work in the community.
7. To be a law abiding citizen.
8. To not do or sell any form of drugs or alcohol.
9. To attend all designated activities, unless officially excused.
10. To respect females/males of all ages.
11. To follow the rules and regulations set forth by the organization.
12. To respect himself.

The youth must maintain a log, which is a record of pictures, clippings, notations, articles, and other material pertaining to the transition from childhood to adulthood.

**Mission:**

Prepare African American youth to excel above and beyond circumstance, environment, conditions and situation to the maximum of their capability and become authentic, responsible, contributing adults. Define roles, activities, privileges, expectations, and responsibilities that clearly identify and determine the status of an individual. Provide for institutions that instruct, evaluate, guide, affirm and correct them in the fulfillment of these roles.

**Goal:**

To prepare African American Children to become responsible Adults.

**Objectives:**

1. Improve the self esteem (perception of self worth) of our youth.
2. Improve the academic performance of our youth.
3. Increase the social and sense of community awareness of our youth.
4. Improve the decision making skills of our youth.
5. Educate our youth in successful business ownership.
6. Improve effort, initiative, perseverance, caring, teamwork.
7. Develop leadership and effective communication skills.
8. Develop nonviolent conflict resolution skills.
9. Encourage confidence, motivation, and accountability.
10. Develop and encourage winners.

## MANHOOD CODE OF ETHICS:

As an African American man, committed to make the lives of our people better, I solemnly promise to:

### IN SCHOOL:

1. Be real and be courteous.
2. Earn and give respect.
3. Express myself well.
4. Finish school.
5. Excel in school.
6. Not disrupt class.
7. Aim high.

### IN OUR HOME:

1. Be neat.
2. Share responsibility of clean-up.
3. Keep things in their proper place.
4. Be generous.

### IN OUR RELATIONSHIP WITH OTHER BROTHERS:

1. Never start fights.
2. Never use profane or vulgar language.
3. Never call anyone a derogatory name.
4. Respect the opinions and wishes of my brothers.
5. Be straight forward and honest.

### IN OUR RELATIONSHIP WITH SISTERS:

1. Protect and respect our sisters.
2. Never touch a female inappropriately.
3. Respect a sister's opinion.
4. Be helpful, courteous and a real man.
5. Treat sisters with respect and honor according to GOD's design.
6. Talk to settle problems and resist the temptation to hit.
7. Never force a sister to do what she does not want to do.

### IN DEALING WITH OUR CHILDREN:

1. Teach our children the difference between right and wrong.
2. Teach them to respect their elders.
3. Spend more time with the children.
4. Help them with their homework.
5. Take care of my children.
6. Give financial support to my wife and children.

### IN THE COMMUNITY:

1. Never litter and always clean up the mess.
2. Take part in building things in our community.
3. Help the elderly.
4. Be an example to others.
5. Obey GOD's law and man's law.
6. Vote regularly.
7. Promote racial harmony and racial equity.
8. Support politics that benefit African Americans.
9. Create and support Black businesses.
10. Abstain from premarital and extra marital sex.
11. Learn about local, national and international issues.
12. Remain drug free.

### WOMANHOOD CODE OF ETHICS:

As an African American woman, committed to make the lives of our people better, I solemnly promise to:

#### IN SCHOOL:

1. Be real and be courteous.
2. Earn and give respect.
3. Express myself well.
4. Finish school.
5. Excel in school.
6. Not disrupt class.
7. Aim high.

#### IN OUR HOME:

1. Be neat.
2. Share responsibility of clean-up.
3. Keep things in their proper place.
4. Be generous.
5. Home Management

#### IN OUR RELATIONSHIP WITH OTHER SISTERS:

1. Never start fights.
2. Never use profane or vulgar language.
3. Never call anyone a derogatory name.
4. Respect the opinions and wishes of my brothers.
5. Be straight forward and honest.

#### IN OUR RELATIONSHIP WITH BROTHERS:

1. Reverence and respect our brothers.
2. Never touch a man or boy inappropriately.
3. Respect a brothers opinion, decision.
4. Be helpful, courteous, humble and real towards our brothers.
5. Treat brothers with respect and honor as GOD requires.
6. Talk/listen to settle problems and never hit a brother.
7. Never force a brother to do what he does not want to do.
8. Never provoke a brother to anger.
9. Never put a brother on the spot.
10. Not present myself in a provocative manner; conversation or actions.

#### IN DEALING WITH OUR CHILDREN:

1. Teach our children the difference between right and wrong.
2. Teach them to respect their elders.
3. Spend more time with the children.
4. Help them with their homework.
5. Take care of the nurturing of my children.

#### IN THE COMMUNITY:

1. Never litter and always clean up the mess.
2. Take part in building things in our community.
3. Help the elderly.
4. Be an example to others.
5. Obey GOD's law and man's law.
6. Vote regularly.
7. Promote racial harmony and racial equity.
8. Support politics that benefit African Americans.
9. Create and support Black businesses.
10. Abstain from premarital and extra marital sex.

11. Learn about local, national and international issues.
12. Remain drug free.

I pledge to

to the right thing, the right way.

for the right reason, regarding the right results.

no matter my position and status.

and glorify God.

according to His Word, working for the salvation

of all men and women in this world.

WHAT DOES THE PLEDGE MEAN?

We will stand up for the right for the sake of righteousness, regarding righteous results, which is true will benefit our brothers and sisters in Christ, and glorify God. In summary, we pledge to be loyal to the Gospel without compromise.

## AFRICAN AMERICAN RITES OF PASSAGE PLEDGE

I pledge to,  
do the right thing, the right way,  
for the right reason, expecting the right results,  
to benefit my brothers and sisters,  
and Glorify GOD,  
according to His Word, working for the Salvation,  
Education and Liberation of our People!

### WHAT DOES THE PLEDGE MEAN?

We will stand up and do right for the sake of righteousness, expecting righteous results, which in turn will benefit our brothers and sisters in Christ, and overall glorify God. In summary, we pledge to be loyal to the Gospel without compromise!

### Student Agreement

This agreement is between the student and the Council of Elders of the Rites of Passage program at Greater Calvary.

I \_\_\_\_\_, agree:

1. To stay in school until graduation.
2. To complete and turn in all public school homework assignments.
3. To work diligently to attain and maintain an "A" average.
4. To settle all disputes nonviolently and not participate in class or school disruption.
5. To attend church on a regular basis.
6. To do volunteer work in the community.
7. To be a law abiding citizen.
8. To not do or sell any form of drugs or alcohol.
9. To attend all designated activities, unless officially excused.
10. To respect females/males of all ages.
11. To follow the rules and regulations set forth by the organization.
12. To respect myself.
13. I will actively participate in all aspects of the program and I expect to receive any and all rewards resulting from my successful completion of the various requirements.
14. I understand and will apply the principles of the Rites of Passage Pledge to my daily life.
15. I understand and will abide by the Rites of Passage Code of ethics daily.
16. I will maintained a log, which is a record of pictures, clippings, notations, articles, and other material pertaining to my transition from childhood to adulthood.
17. I understand and agree that improper or inappropriate behavior results in loss of program privileges after the third warning summarily for all persons involved in such behavior without fault assignment. Continued disruptive behavior by me shall result in me being terminated from the program.
18. I understand this agreement and accept it as binding.
19. I will not intentionally violate this agreement.
20. I will accept disciplinary actions as deemed necessary by the Elders if at any time I am in violation of this agreement or the rules of the Rites of Passage program.
21. I understand that the starting age for the Rites Of Passage Program is 6 years. I agree to remain in the program until I complete the 12th grade.

Signed:  
Parent:  
Witness:

Date:  
Date:  
Date: